



OPEN MEETING

**REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Thursday, January 17, 2019 – 9:30 a.m.
Laguna Woods Village Community Center Board Room
24351 El Toro Road**

NOTICE AND AGENDA

1. Call to Order
2. Acknowledgement of Media
3. Approval of the Agenda
4. Approval of Meeting Report for December 20, 2018
5. Committee Chair Remarks
6. Member Comments - (Items Not on the Agenda)
7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

None.

Items for Discussion and Consideration:

8. 126-D (Majorca, 8A) Retain Unapproved Modification to Previous Variance Requiring Common Area

Reports:

9. Discuss and Review Alteration Standard Plan Policy

Items for Future Agendas

None.

Concluding Business:

10. Committee Member Comments
11. Date of Next Meeting - February 21, 2019
12. Adjournment

Cash Achrekar, Chair
Kurt Wiemann, Staff Officer
Eve Morton, Alterations Coordinator: 949-268-2565



OPEN MEETING

REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Thursday, December 20, 2018 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road, Laguna Woods, CA 92637

REPORT

COMMITTEE MEMBERS PRESENT: Carl Randazzo – Acting Chair, Juanita Skillman, Gary Morrison, Reza Bastani

DIRECTORS PRESENT: Andre Tornig, Elsie Addington

COMMITTEE MEMBERS ABSENT: Advisors Mike Mehrain, Cash Achrekar and Kay Anderson

ADVISORS PRESENT:

STAFF PRESENT: Kurt Wiemann, Gavin Fogg, Eve Morton

1. Call to Order

Chair Randazzo called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

No media were present.

3. Approval of the Agenda

Director Bastani moved to approve the agenda but to switch agenda items #8 and #9 since a resident was present. The Committee was in unanimous support.

4. Approval of the Report for October 18, 2018

Director Morrison made a motion to approve the report. Director Bastani seconded. The Committee was in unanimous support.

5. Committee Chair Remarks

None.

6. Member Comments

None.

7. Department Head Update

Mr. Wiemann reported that he has been promoted and that Staff is looking for a replacement for his position. He also reported that the committee will now be meeting in the Boardroom due to the fact that new security controls will be in place for the second floor starting January 1.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Items for Discussion and Consideration:

8. 58-E (Barcelona, 10B) Patio Enclosure

Director Morrison moved to accept Staff's recommendations. President Skillman seconded. The Committee was in unanimous support.

9. 145-C (La Corona, 3B) Room Extension onto Patio

President Skillman moved to accept Staff's recommendations with the following additional Conditions of Approval:

- Contractor must use Quiet Rock drywall.
- Contractor shall endeavor to minimize noise disruption to neighboring units during construction.
- Contractor shall install clear plastic over the adjacent bedroom window at 145-B during active construction for dust and noise mitigation.

Director Morrison seconded. The Committee was in unanimous support.

10.445-A (La Corona, 3B) Install Clear Skylights

President Skillman moved to accept Staff's recommendations. Director Morrison seconded. The Committee was in unanimous support.

Updates to Standards

11. Review Revisions to Architectural Standard 22: Patio Slabs

Mr. Wiemann reported that he had asked both the paving crew and Director Ernesto Munoz, P.E. to look at this Standard and based on their feedback, made some additional updates to the Standard.

President Skillman made a motion to accept Staff's updates. Director Morrison seconded. The committee was in unanimous support.

12. Review Revisions to Architectural Standard 25: Tubular Skylight Installations

Director Morrison made a motion to accept Staff's updates. President Skillman seconded. The committee was in unanimous support.

13. Discuss Rescinding Architectural Standard 26: Solariums and Garden Rooms

Chair Randazzo made some minor corrections to the report.

Director Morrison made a motion to accept Staff's updates. Director Bastani seconded. The committee was in unanimous support.

Reports:

14. Discuss and Review Revising the Alteration Inspection Fees

Mr. Wiemann reviewed the revised fees. Discussion ensued.

The committee requested that Mr. Wiemann double check on whether vinyl flooring requires a City permit and make that update to this fee schedule, if appropriate.

Director Morrison made a motion to accept Staff's recommendation and send it on to the Board. Director Bastani seconded. The committee was in unanimous support.

Items for Future Agendas

Review and discuss a policy to reduce the number of variances

Concluding Business:

15. Committee Member Comments

Various comments were made.

16. Date of Next Meeting - January 17, 2019

17. Adjournment at 11:12 a.m.



Carl Randazzo, Acting Chair
Kurt Wiemann, Staff Officer
Eve Morton, Alterations Coordinator 268-2565



STAFF REPORT

DATE: January 17, 2019
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request: Mr. Roger Flinn of 126-D (Majorca, 8A)
Retain Modification to Previous Variance Requiring Common Area

RECOMMENDATION

Staff recommends the Board deny the request to retain the doors constructed on the patio enclosure and approve keeping the topping slab as constructed, with the conditions as stated in Appendix A.

BACKGROUND

On June 13, 2017, the United Mutual Board approved a Variance Request for a patio enclosure that employs store front glazing as its main component. It was to be installed within the original patio dimensions of Unit 126-D (Exclusive Use Common Area). Following a routine building inspection, a Correction Notice was issued on November 8, 2018, for performing alterations outside of the approved scope of work. On December 17, 2018, Mr. Flinn submitted a variance to retain the alteration patio enclosure as constructed.

The patio enclosure was constructed within the original patio area; the proposed concrete landings on either side of the patio enclosure fall onto Common Area.

Due to the existing United Mutual Common Area Usage Policy prohibiting any common area being granted to an individual Member for exclusive use, policy requires Board approval prior to issuing a Mutual Consent.

Per the Committee's direction regarding variance requests for retaining non-authorized alterations, Compliance was notified on December 21, 2018, of the unauthorized alteration; a disciplinary hearing is pending.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

The plans submitted and approved for the original variance in June 2017, show plan and elevation drawings depicting only windows to be used to construct a 16'11" by 8' patio enclosure within the existing front patio of the unit (Appendix B). Due to the proposed glazing system containing only windows, common area was not required for the patio enclosure. Furthermore, Staff made contact with the projects' architect prior to the Committee's review and confirmed that emergency egress requirements would be satisfied with both the proposed window system and the existing living room entry door.

During a recent site inspection, Staff found windows were replaced with a single swing door, 2'8" wide by 6'11" tall on both east and west elevations of the alteration. For the alteration to meet local and state building codes, the new doors to the patio enclosure would require a concrete landing that would fall onto Common Area.

Based upon United Mutual Common Area Usage Policy, Staff recommends denial of doors on the alteration patio enclosure.

A second modification to the approved variance is the extension of the concrete topping slab, taking it to the end of the original patio slab (Attachment 3). Approved plans show the topping slab ending at the glazing; the original patio slab extends to the end of the designated patio area (Appendix B).

Due to the topping slab being located within the original designated patio area and the low grade of the surrounding landscape, Staff recommends approval to keep the extended topping slab with two additional conditions:

1. Topping slab shall be given a stucco finish on all exterior surfaces and painted to match the rest of building.
2. Prior to completion of Mutual Consent, Shareholder shall contact Landscape Division to review and install landscape to sufficiently restrict the view of the exterior topping slab from the street and walkways. All landscape modifications shall be at the owner's expense.

Currently, there is one pending Mutual Consent for Unit 126-D with 13 items:

Description	Issue Date	Mutual Permit
Door Revision, Entry	3/27/2017	170578
Retrofit Sliding Glass Door in Patio	3/27/2017	170578
Electrical Throughout	3/27/2017	170578
Retrofit all Windows	3/27/2017	170578
Tub to Shower	3/27/2017	170578
Shower to Shower	3/27/2017	170578
Demo Throughout	3/27/2017	170578
Central Heating and Air	3/27/2017	170578
Wall Revision in Kitchen	3/27/2017	170578
Wall Revision in Bathroom 1	3/27/2017	170578
Wall Revision in Bathroom 2	3/27/2017	170578
Electrical Panel, Changeout	3/27/2017	170578
Patio Enclosure (Variance)	3/27/2017	170578
Extension Permit	3/27/2017	170578

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 126-A, 126-B, 126-C, 126-E, 126-F, 126-G, 126-H, 126-N, 126-O, 126-P, 126-Q, 126-R, 126-S, 126-T, 126-U, 201-A, 201-B, 201-C and 201-D, on January 4, 2018, due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

There have been no alterations permitted on Common Area since the previous Common Area Usage Policy was voted into effect in June 13, 2017, via resolution 01-17-94, however patio enclosures and room extensions onto Exclusive Use Common Area have been approved via Mutual Consents and variances during this time.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 126-D.

Prepared By: Gavin Fogg, Alterations Inspector

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager
Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Appendix A: Conditions of Approval
Appendix B: Approved Plans, June 13, 2017
Attachment 1: Site Plans
Attachment 2: Variance Request, December 17, 2018
Attachment 3: Photos
Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of Approval:

1. Topping slab shall be given a stucco finish on all exterior surfaces and painted to match the rest of building.
2. Prior to completion of Mutual Consent, Shareholder shall contact Landscape Dept. to review and install landscape to sufficiently restrict the view of the exterior topping slab from the street and walkways.
3. No improvement shall be installed, constructed, modified or altered at Unit **126-D**, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Shareholder s ("Shareholder ") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
4. A Variance for Alterations has been granted at **126-D** for **retaining extended topping slab**, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Shareholder.
5. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Shareholder at **126-D** and all future Mutual Shareholders at **126-D**.
6. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
7. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
8. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos

Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

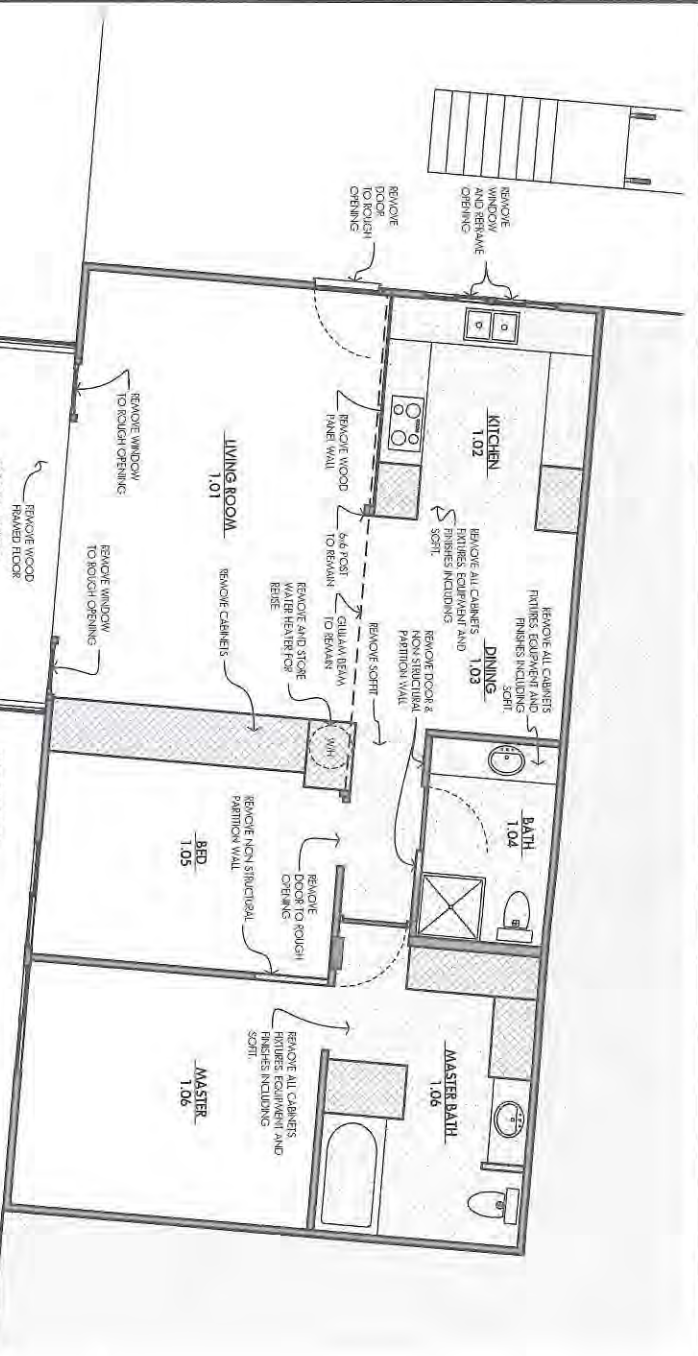
9. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Shareholder may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Shareholder's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must be repaired at the Mutual's expense prior to installation.
10. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Shareholder. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
11. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
12. Prior to the issuance of a Mutual Consent for Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "United Laguna Woods Mutual Color Selections" at Resident Services, located at the Community Center first floor.
13. Shareholder hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
14. Shareholder shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Shareholder acknowledges and agrees that all such persons are his/her invitees. Shareholder shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations. Shareholder shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or

other charge levied in connection therewith.

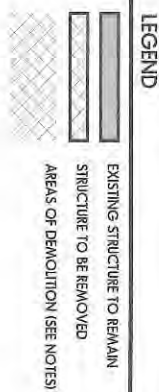
15. Shareholder is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com>) in place to admit contractors and other invitees.
16. Shareholder's contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
17. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until both a Final Mutual Consent for Alterations and a Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
18. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Shareholder or the Property, to cover and/or recoup any costs whatsoever, including, but not limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Shareholder; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Shareholder's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
19. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Shareholder agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
20. Any remaining Conformance Deposit is refundable if the Shareholder notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Shareholder's address of record with the Mutual. Under no circumstances shall Shareholder be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Shareholder within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
21. All improvements must be installed in accordance with the California State

Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.

22. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
23. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
24. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
25. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
26. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
27. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
28. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
29. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Shareholder. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
30. Mutual Shareholder shall indemnify, defend and hold harmless United and its officers, directors, committee Shareholders and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual Shareholder's improvements and installation, construction, design and maintenance of same.



22 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION

1. THE CONTRACTOR IS TO VERIFY THE CONDITION OF ALL BUILDINGS, FINISHES AND BUILDING SYSTEMS.
2. COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. REMOVE ALL MATERIALS TO BE DEMOLISHED TO THE STREET OR TO THE CURB.
4. CHECKED FOR CONFORMANCE WITH THE REQUIREMENTS OF ALL NEW CONSTRUCTION.
5. REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
6. STORE AND PROTECT ON SITE ALL MATERIALS SCHEDULED FOR RE-USE.
7. ALL LANDSCAPING AND TREES ARE TO REMAIN AS IS UNLESS OTHERWISE NOTED.
8. ALL ITEMS SCHEDULED FOR REMOVAL TO INCLUDE ALL FOOTINGS, SUB-SLABS AND FOUNDATION SYSTEMS UNLESS OTHERWISE NOTED.
9. REMOVE AND CAP ALL MECHANICAL ELECTRICAL AND PLUMBING SYSTEMS IN CONFLICT WITH NEW CONSTRUCTION.
10. PROJECT ALL ADJACENT AREAS NOT SCHEDULED FOR DEMOLITION.
11. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL EXISTING CONDITIONS SHALL BE REPORTED TO ARCHITECT FOR RESOLUTION BEFORE CONTINUATION OF DEMOLITION OR COMMENCEMENT OF CONSTRUCTION.

GENERAL PLUMBING PROVISIONS

1. ALL PLUMBING AND PLUMBING RELATED SYSTEMS SHALL BE DESIGN BUILD AND INSTALLED BY A LICENSED PROFESSIONAL PLUMBER IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION INSTRUCTIONS AND LAPO (INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS) "INSTALLATION STANDARDS".
2. AFTER SELECTIVE DEMOLITION PLUMBER SHALL INSPECT ALL VISIBLE EXISTING DOMESTIC WATER AND WASTE FOR DEFICIENCIES, MAINTENANCE ISSUES OR INCOMPATIBILITIES WITH CONSTRUCTION PLANS. ANY DISCOVERED PROBLEMS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
3. ALL CONTROL VALVES, CONSUMERS SHALL BE THYMOSTATIC.
4. ALL NEW FINISHES SHALL NOT EXCEED THE FOLLOWING WATER USAGE LIMITS:
 1. TOILETS: 1.28 GPF
 2. LAVATORY FAUCETS: 1.5 GPF
 3. KITCHEN FAUCETS: 1.8 GPF
 4. SHOWERHEADS: 2.0 GPM
5. EXISTING FIXTURES NOT MEETING THE FOLLOWING GPM, RATINGS SHALL BE CONSIDERED NON-CONFORMING AND MUST BE REPLACED WITH NEW:
 1. LAVATORY FAUCETS: 1.6 MAX GPM
 2. KITCHEN FAUCETS: 2.2 MAX GPM
 3. SHOWERHEADS: 2.5 MAX GPM

GENERAL ELECTRICAL PROVISIONS

1. ALL ELECTRICAL AND ELECTRICAL RELATED SYSTEMS SHALL BE DESIGN BUILD AND INSTALLED BY A LICENSED PROFESSIONAL ELECTRICIAN IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION INSTRUCTIONS AND NECA (NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION) "INSTALLATION STANDARDS".
2. AFTER SELECTIVE DEMOLITION ELECTRICIAN SHALL INSPECT ALL VISIBLE EXISTING ELECTRICAL SYSTEMS FOR DEFICIENCIES, MAINTENANCE ISSUES OR INCOMPATIBILITIES WITH CONSTRUCTION PLANS. ANY DISCOVERED PROBLEMS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
3. ALL RECEPTACLE OUTLET LOCATIONS SHALL CONFORM WITH CEC 210.52(A).
4. ALL RECEPTACLE AND LIGHTING CIRCUITS SERVING HABITABLE SPACES AS DEFINED BY NEC 210.12(B) SHALL BE A-C-F-A-I-T-P-R-O-T-E-C-T-E-D.
5. ALL RECEPTACLE OUTLETS LOCATED IN KITCHENS, BATHROOMS, GARAGES AND EXTERIOR AS DEFINED BY NEC 210.8 SHALL BE GFCI.
6. CIRCUITS SERVING BATHROOMS SHALL BE EITHER 1-20 AMP CIRCUIT DEDICATED TO EACH BATHROOM OR AT LEAST ONE 20 AMP CIRCUIT SERVING ONLY BATHROOM RECEPTACLE OUTLETS.
7. ALL KITCHEN COUNTERS, 12" AND LONGER SHALL HAVE OUTLETS LOCATED AT A MAXIMUM OF 24" FROM ANY POINT ALONG COUNTERS AND MAXIMUM 20" ABOVE COUNTERTOP.
8. ALL NEW WALLS GREATER THAN 24" IN A HABITABLE ROOM REQUIRES A RECEPTACLE LOCATED WITHIN 5'-0" OF ANY POINT ALONG OVER 10'-0" REQUIRE A RECEPTACLE.
9. ALL HALLWAYS OVER 10'-0" REQUIRE A RECEPTACLE.

LIGHTING

1. LIGHTING AND LIGHTING CONTROLS SHALL CONFORM WITH 2016 CALIFORNIA ENERGY CODE.
2. ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY.
3. CLOSET LIGHTING SHALL BE HIGH EFFICIENCY AND CONTROLLED BY A MANUAL-ON VACANCY SENSOR.

GENERAL MECHANICAL PROVISIONS

1. ALL HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS AND ALTERATIONS SHALL BE DESIGN BUILD AND INSTALLED BY A LICENSED HVAC PROFESSIONAL IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION INSTRUCTIONS AND A-C-A-R (AIR CONDITIONING CONTRACTORS OF AMERICA) "INSTALLATION STANDARDS".
2. ALL EXISTING EXHAUST SYSTEMS SHALL BE REMOVED AND NEW EXHAUST SYSTEMS SHALL BE INSTALLED TO THE EXTERIOR AND TERMINATE A MINIMUM OF 3 FEET FROM ALL OPERABLE WINDOWS/DOORS INTO THE BUILDING.
3. DURING SELECTIVE DEMOLITION AND CONSTRUCTION ACTIVITIES THAT PRODUCE DUST, ALL HEATING, COOLING AND VENTILATION SYSTEMS ARE TO BE DISABLED AND ALL VENTS AND REGISTERS SEALED TO PREVENT DUST INTRUSION. ADEQUATE VENTILATION FOR CONSTRUCTION WORK SHALL BE PROVIDED BY SUPPLEMENTAL MEANS.
4. AFTER COMPLETION OF DEMOLITION THE CONTRACTOR SHALL COORDINATE THE DESIGN AND RECOMMISSIONING OF ALL NEW AND ALTERED HVAC EQUIPMENT.
5. THE RETURN AIR FLEXIBLE SERVING THE MECHANICAL EQUIPMENT MUST BE RIGID DUCTED FROM THE EQUIPMENT TO THE CONDITIONED SPACE DROPPED CEILING. WALL CAVITIES AND EQUIPMENT PLATFORMS MAY NOT BE USED AS RETURN AIRWAYS.
6. ALL NEW BATHROOMS ARE TO BE PROVIDED WITH A VENTILATION FAN EQUIPPED WITH A HUMIDISTAT CONTROLLER.

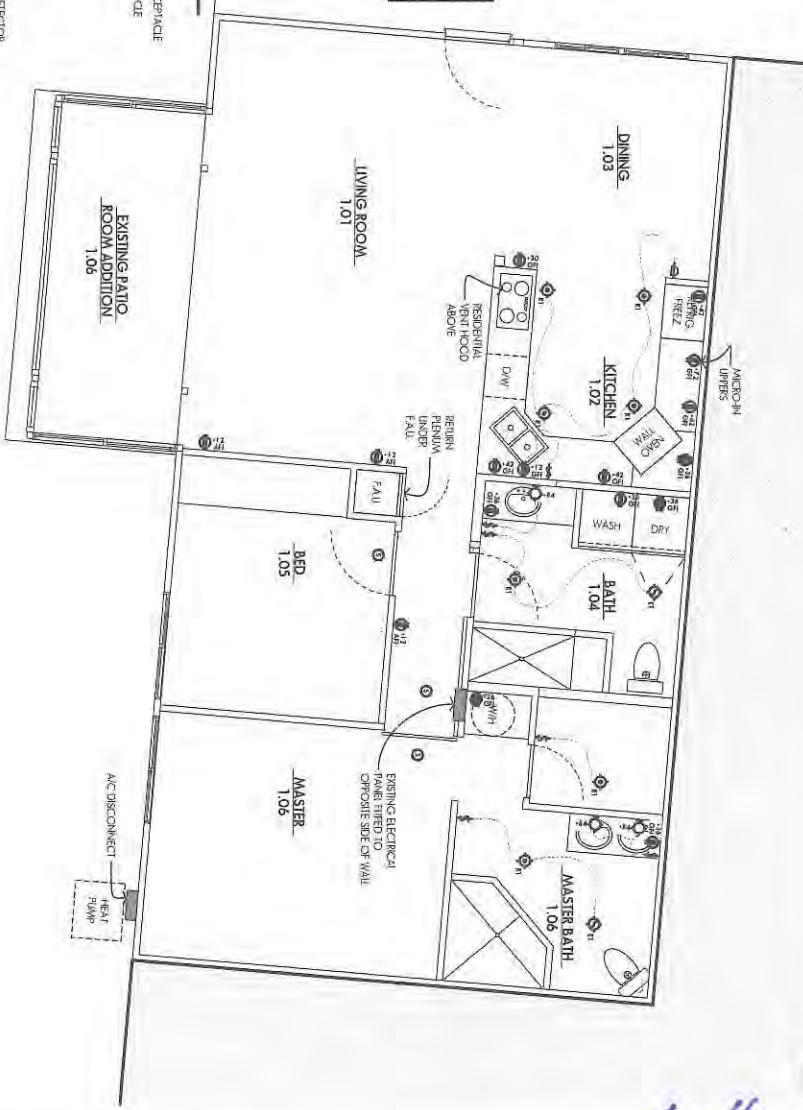
10 REMODEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE: FOR CLARITY, ONLY NEW ELECTRICAL OUTLETS HAVE BEEN SHOWN. EXISTING OUTLETS, SWITCHES, AND LIGHTS ARE TO REMAIN UNLESS OTHERWISE NOTED. EXISTING OUTLETS, SWITCHES, AND LIGHTS ARE TO REMAIN UNLESS OTHERWISE NOTED. EXISTING OUTLETS, SWITCHES, AND LIGHTS ARE TO REMAIN UNLESS OTHERWISE NOTED.

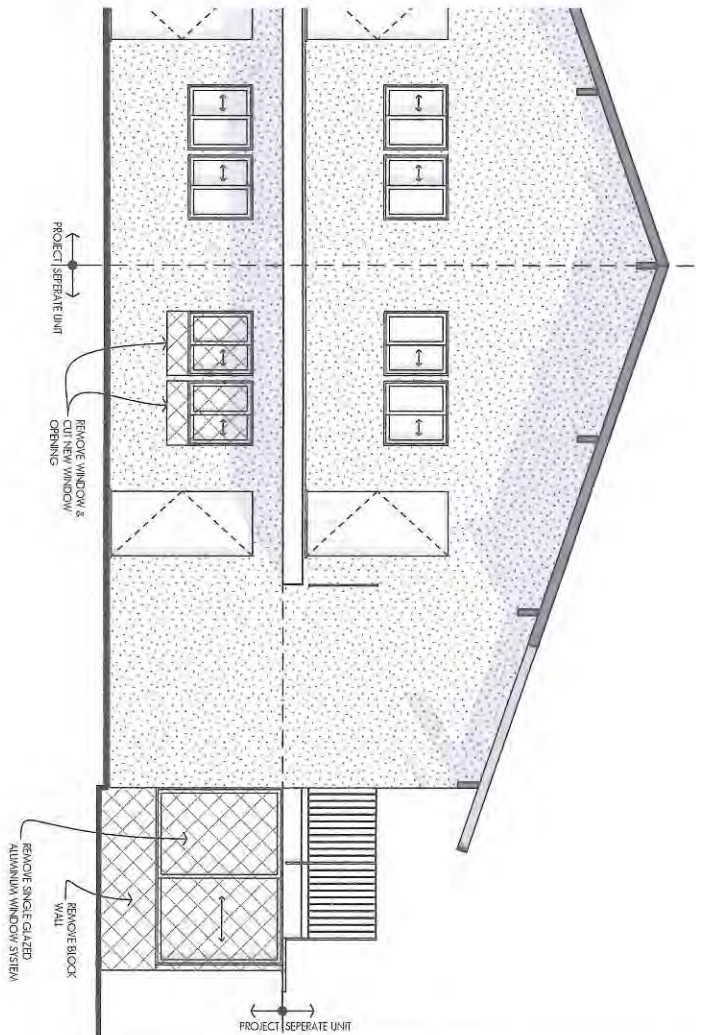
ELECTRICAL LEGEND

- 1. DRYER RECEPTACLE
- 2. 20 AMP GFCI PROTECTED RECEPTACLE
- 3. 1/2" SWITCHED RECEPTACLE
- 4. 20 AMP GFCI
- 5. SWITCH
- 6. DIMMER
- 7. WALL MOUNT LIGHT FIXTURE
- 8. RECESSED LIGHT FIXTURE
- 9. SMOKE/CO/LEAK MONITORING DETECTOR
- 10. EXHAUST FAN / LIGHT COMBO
- 11. CLOSET PATH

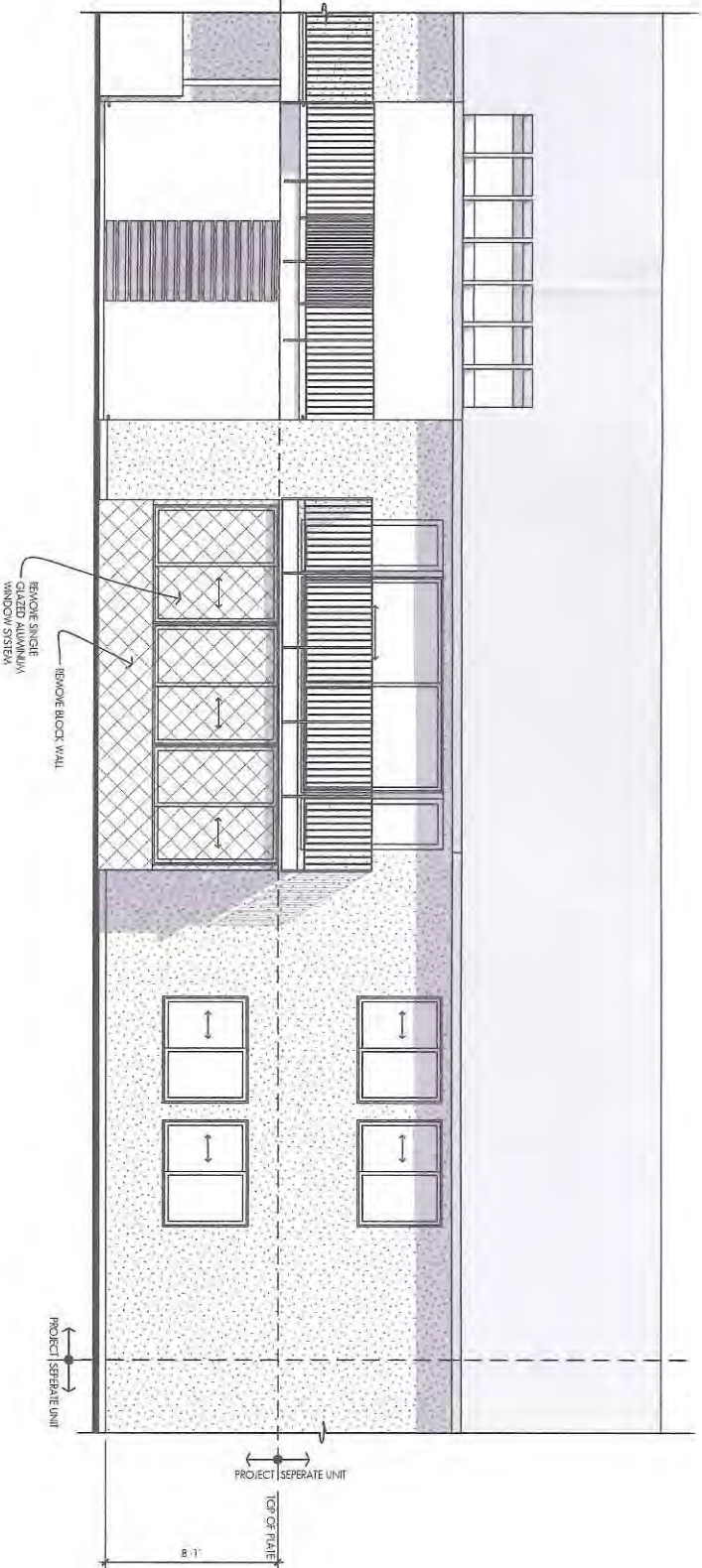


24 NOTES

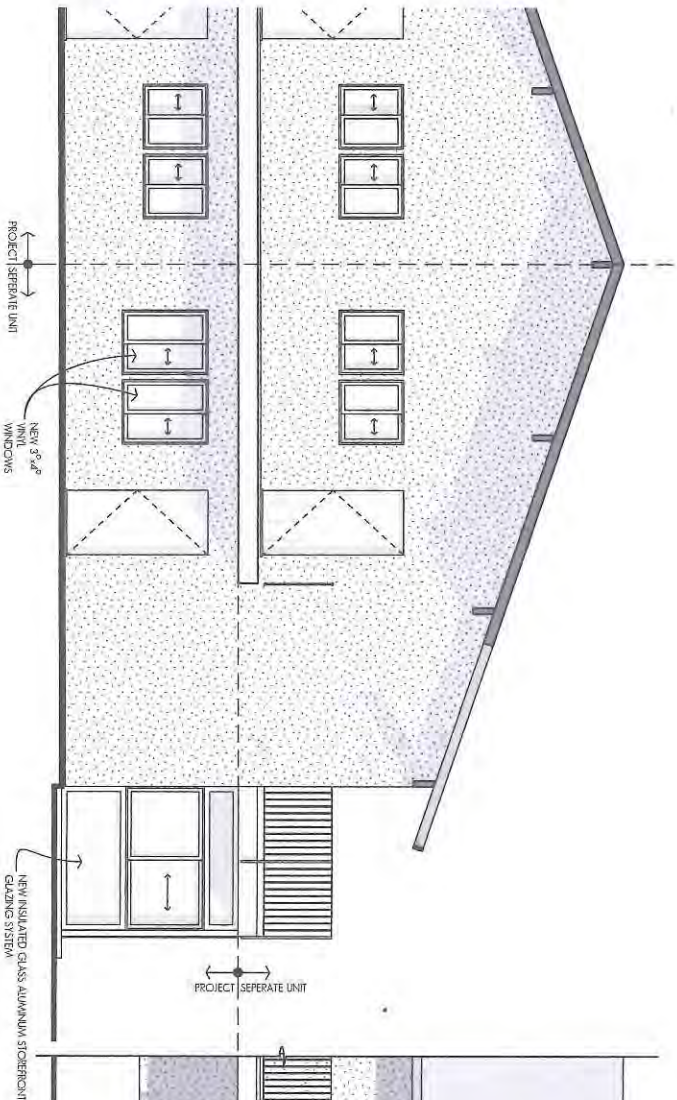
10 MECHANICAL, ELECTRICAL PLUMBING FLOOR PLAN
SCALE: 1/4" = 1'-0"



22 EXISTING / DEMOLITION EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



14 EXISTING / DEMOLITION EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



24 REMODEL EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



16 REMODEL EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

A3.1

PROJECT NO.	1620
DATE	12.22.2016
DESIGNER	AMH

EXTERIOR ELEVATIONS



126-D
AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

adrian michael harrison
ARCHITECTURE & CONSTRUCTION

2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply.

[illegible]

2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the inspection section for more information. Exceptions may apply.

[illegible]

2016 Low-Rise Residential Mandatory Measures Summary

2016 Low-Rise Residential Mandatory Measures Summary

[illegible]

2016 Low-Rise Residential Mandatory Measures Summary

[illegible][illegible]

2016 Low-Rise Residential Mandatory Measures Summary

2010 Low-Rise Residential mandatory inspection criteria

Inspection Swishes and Controls, in bathroom, garage, laundry room, and utility room, at least one laminate in each of these spaces must be certified by a licensed inspector.

Inspection Swishes and Controls, Owners or a licensed inspector must ensure all laminates required to have light sources comply with Interlock Swishes and Controls. Owners or a licensed inspector must ensure that 75% of the area of the laminate is covered by the light source.

[illegible]

The compliance document is only applicable to simple alterations that do not require NERS verification for compliance. When NERS verification is required, a CD-284LT-01 must first be registered with a NERS Provider Data Registry.

[illegible]

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be affixed by the building inspector.

A. General Information					
01	Project Name:	125-52	02	Date Prepared:	2/22/2007
03	Project Location:	125-52 AVENUE AMERICA	04	Building Footprint Construction (log or outline):	1485
05	CA DDC:	LEGISLATIVE WOODS	06	Number of Above Ground Dewatering Units:	1
07	226 Code:	9007	08	Flow Type:	Intermittent
09	Channel Zone:	8	10	Total Conditioned Floor Area (ft ²):	1120
11	Building Type:	Multi-Family	12	Sub Area (ft ²):	1120

13 Project Scope (Select all that apply):

☒ A. Renovation

☐ B. New Construction

☐ C. Roof Replacement

☒ D. A, B, C, Foundation/Cladding, RE-USE

☐ E. Water Reclaim System

☒ F. Space Conditioning System (Heating, Cooling, Duct System)

CA Building Energy Efficiency Standards - 2016 Residential Compliance

April 2016

[illegible]

D. Fermentation/Sliding Allowed Area and Efficiencies [Section 50.2.2(b)]						
01	02	03	04	05	06	07
Maximum Allowed Maximum Allowed	Maximum Allowed	Sliding for Maximum Allowed	Sliding for Maximum Allowed	Maximum Allowed	Maximum Allowed	Maximum Allowed
At Orientation	At Orientation	At Orientation	At Orientation	At Orientation	At Orientation	At Orientation
70%	70%	70%	70%	70%	70%	70%
24	54	54	66	31	25	25
0.00/0.00						

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CA Building Energy Efficiency Standards - 2016 Residential Compliance

April 2004


STATE OF CALIFORNIA
Prescriptive Residential Alterations That Do Not Require HERS Field Verification
 CERTIFICATE OF COMPLIANCE
 OCCUPANCY: 1-206, Annex A-1
 Prescriptive Residential Alterations That Do Not Require HERS Field Verification
 125-0
 CALIFORNIA ENERGY COMMISSION
 CEC-161-05
 Page 3 of 4
 2/22/2017

Item	Item description	Yes	No
15	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
16	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
17	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
18	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
19	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
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22	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
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29	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No
30	Is the Added Feature/Functionality a New Feature/Functionality?	Yes	No

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CA Building Energy Efficiency Standards - 2016 Residential Compliance

April 22


 STATE OF CALIFORNIA
 Department of Public Health
Prescriber Residential Alerts that Do Not Require HERS Field Verification
 COMMUNITY CARE LICENSING DIVISION
 CERTIFICATE OF COMPLIANCE
 Prescriber Residential Alerts that Do Not Require HERS Field Verification
 Form Number: 125-0
 CHS/PAH/REG/COMMISSION
 C131-A1-1-0
 Page 1 of 1
 Date Reprinted: 2/22/2012

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For assistance or questions regarding the Energy Standards, contact the Energy Hotline at 1-800-772-3300

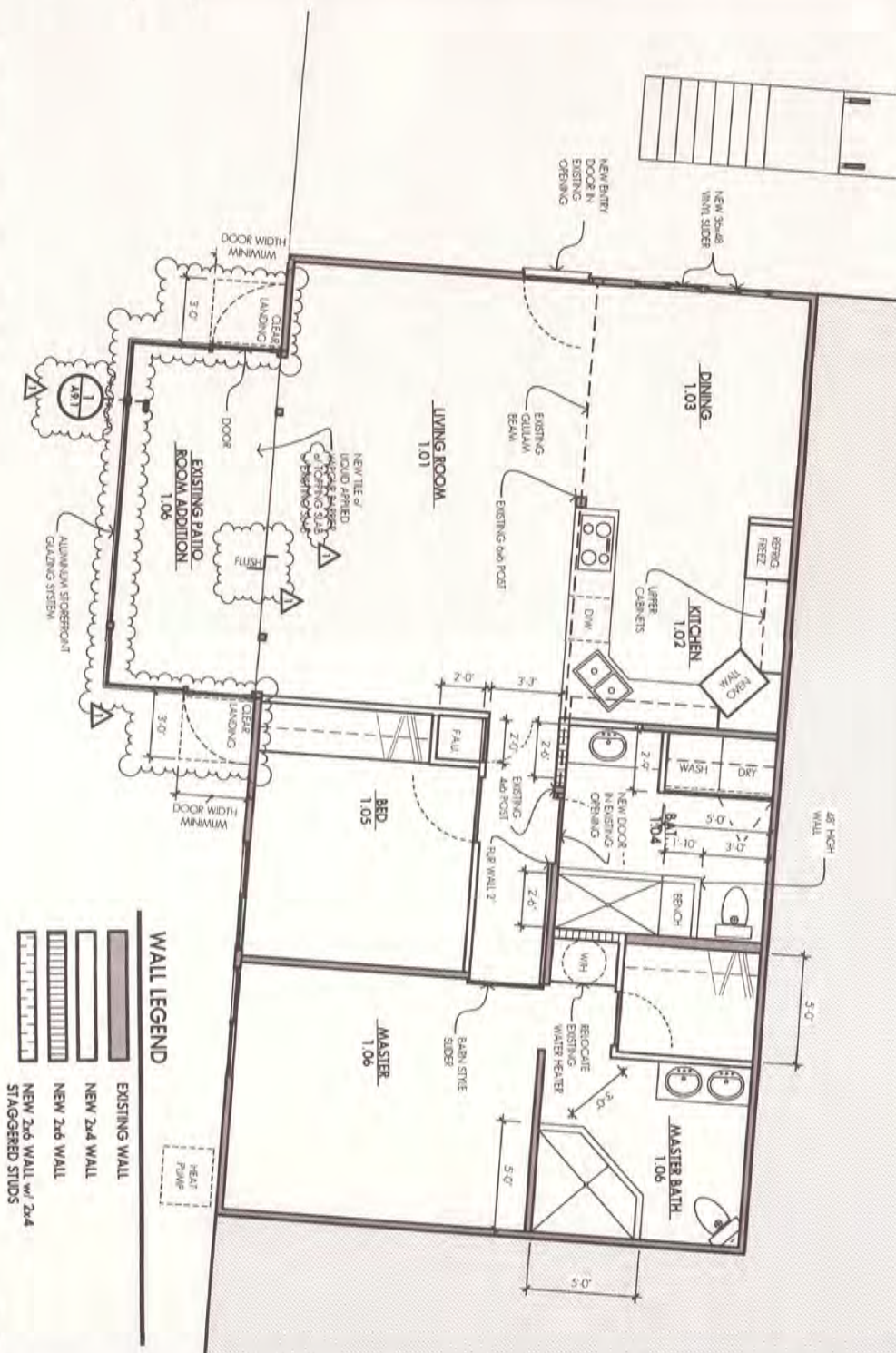
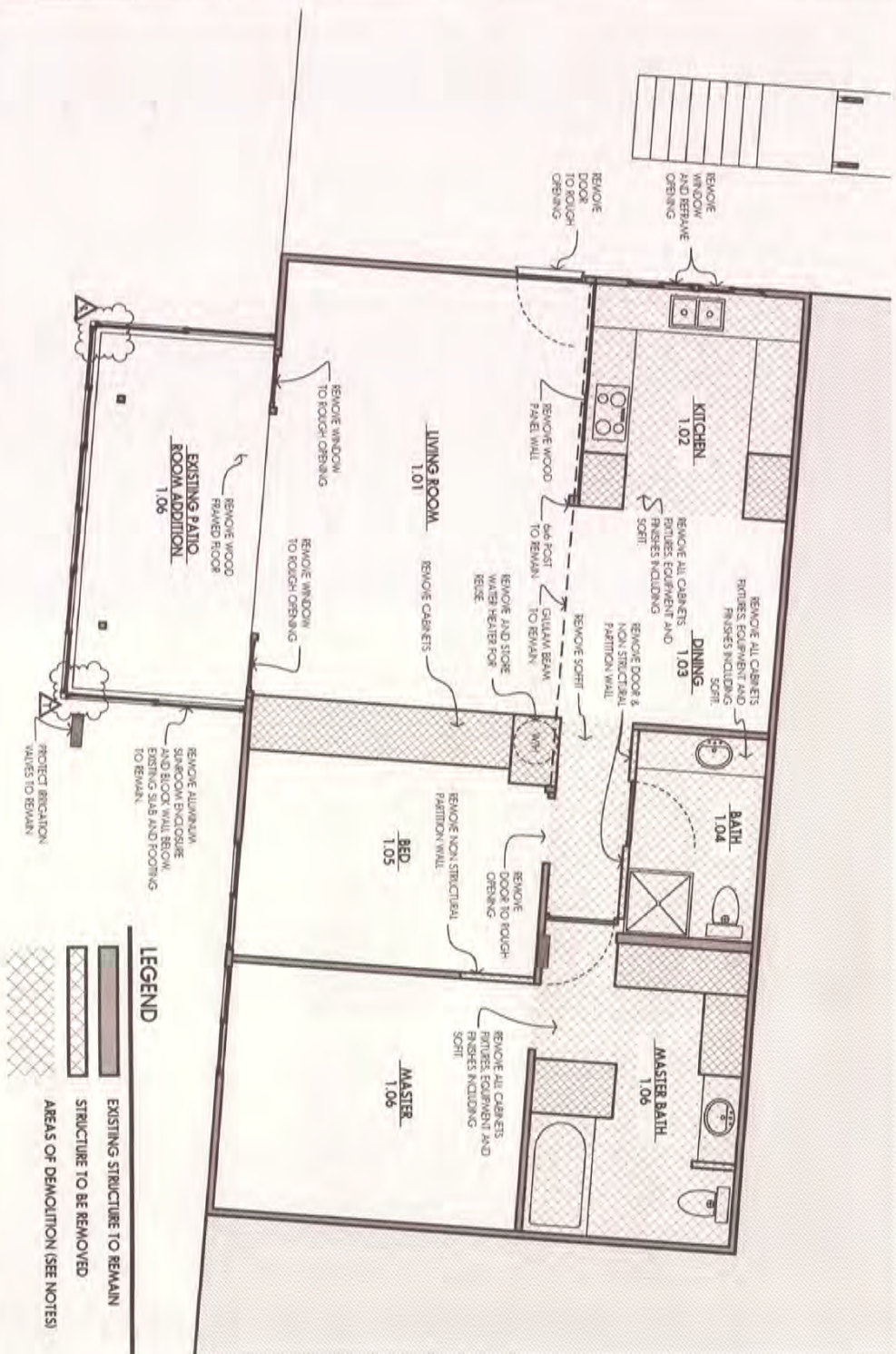
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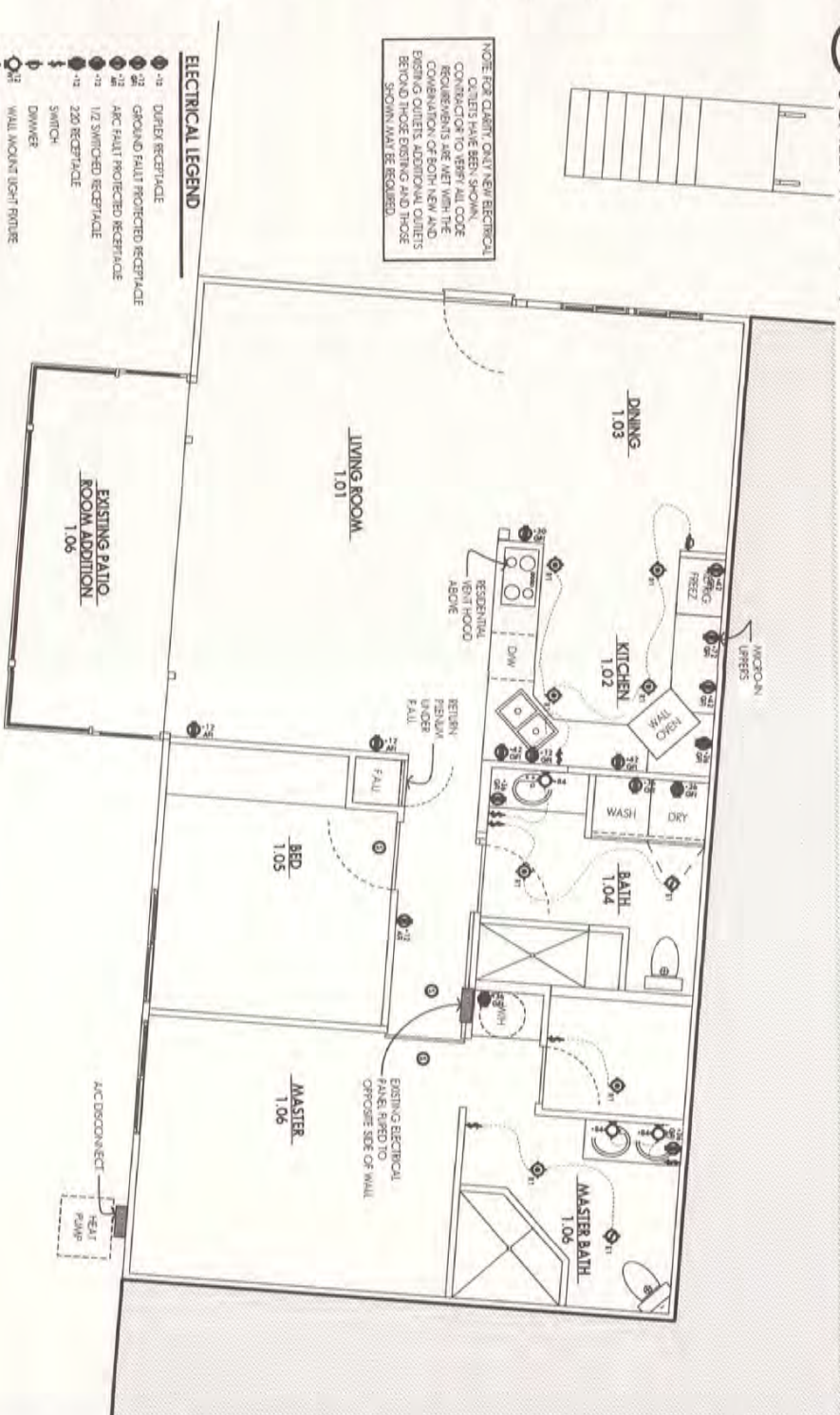


22 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

10 REMODEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

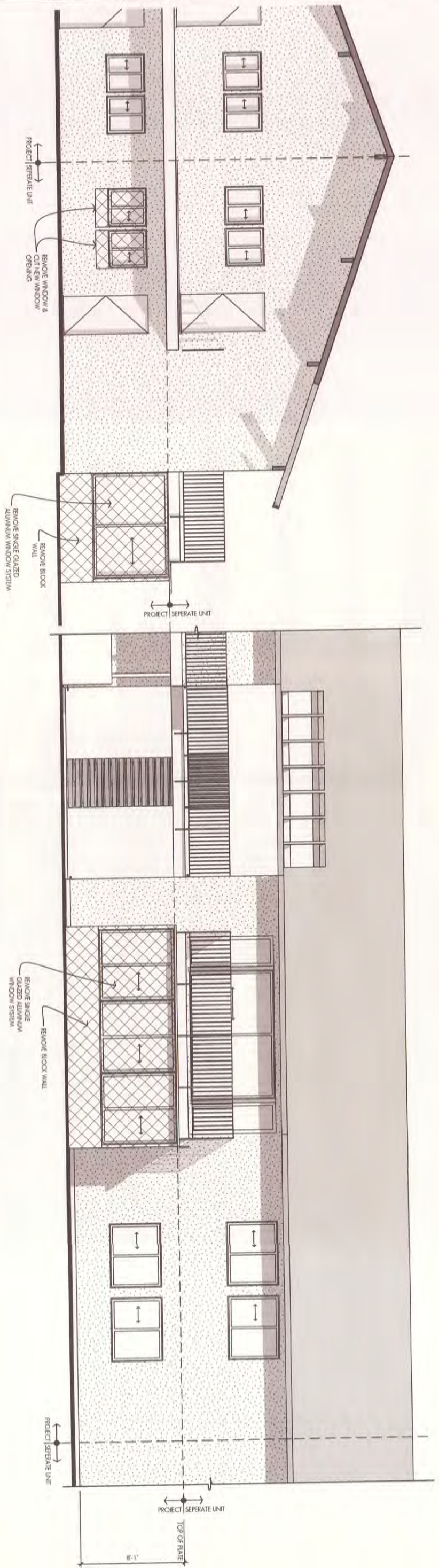
- DEMOLITION**
1. THE CONTRACTOR IS TO VERIFY THE CONDITION OF ALL BUILDINGS, FINISHES AND BUILDING SYSTEMS AND VERIFY ALL DEMOLITION WITH ALL ALLOCATION PLANS.
 2. NO STRUCTURAL ITEMS ARE TO BE REMOVED.
 3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED FOR CONFORMANCE WITH THE REQUIREMENTS OF ALL NEW CONSTRUCTION.
 4. REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
 5. WITH ALL LANDSCAPING AND TREES ARE TO REMAIN AS IS UNLESS OTHERWISE NOTED.
 6. ALL ITEMS SCHEDULED FOR REMOVAL TO BE REMOVED AS NOTED.
 7. REMOVE AND CAP ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS IN CONFLICT WITH NEW CONSTRUCTION.
 8. PROTECT ALL ADJACENT AREAS NOT SCHEDULED FOR DEMOLITION.
 9. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL EXISTING CONDITIONS SHALL BE REPORTED TO ARCHITECT FOR RESOLUTION BEFORE CONTINUATION OF DEMOLITION OR COMMENCEMENT OF CONSTRUCTION.
- GENERAL ELECTRICAL PROVISIONS**
1. ALL ELECTRICAL AND ELECTRICAL RELATED SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED PROFESSIONAL ELECTRICIAN IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION STANDARDS, AND NECTA NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION.
 2. AFTER SELECTIVE DEMOLITION, ALL EXISTING ELECTRICAL SYSTEMS FOR DIFFERENCES, MAINTENANCE ISSUES OR INCOMPATIBILITIES WITH CONSTRUCTION PLANS, ANY DISCOVERED PROBLEMS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
 3. ALL RECEPTACLE AND LIGHTING LOCATIONS SHALL COMPLY WITH NEC 210.22(A).
 4. ALL RECEPTACLE AND LIGHTING LOCATIONS SHALL BE DEFINED BY NEC 210.12(B) SHALL BE RECEPTACLE LOCATIONS.
 5. ALL RECEPTACLE LOCATIONS LOCATED IN KITCHENS, BATHROOMS, GARAGES AND EXTERIOR AS DEFINED BY NEC 210.8 SHALL BE GFCI.
 6. CIRCUITS SERVING BATHROOMS SHALL BE EITHER 1-20 AMP CIRCUIT DEDICATED TO EACH BATHROOM OR AT LEAST ONE 20 AMP CIRCUIT SERVING ONLY BATHROOM RECEPTACLE OUTLETS.
 7. ALL KITCHEN COUNTERS 12" AND LONGER SHALL HAVE OUTLETS LOCATED AT A MAXIMUM OF 24" FROM ANY POINT ALONG COUNTER AND MAXIMUM 20" ABOVE COUNTERTOP.
 8. ANY WALL GREATER THAN 24" IN A HABITABLE ROOM REQUIRES A RECEPTACLE LOCATED WITHIN 6'-0" OF ANY POINT ALONG THE WALL.
 9. ALL HALLWAYS OVER 10'-0" REQUIRE A RECEPTACLE.
- GENERAL MECHANICAL PROVISIONS**
1. ALL HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS AND ATTENDANTS SHALL BE DESIGNED AND INSTALLED BY A LICENSED PROFESSIONAL MECHANICAL ENGINEER IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION STANDARDS, AND ACCA / ARIE CONDITIONING CONTRACTORS OF AMERICA STANDARD 5 HVAC QUALITY INSTALLATION SPECIFICATION.
 2. ENCLOSURE WALLS SHALL NOT CAUSE THE ENCLOSURE OF EXHAUST VENTS FOR HEAT PUMPS/PTAC UNITS OR ANY OTHER SUCH APPLIANCE. ALL SUCH VENTS SHALL EXTEND TO THE EXTERIOR AND TERMINATE A MINIMUM OF 3 FEET FROM ALL OPENABLE WINDOW/DOORS INTO THE BUILDING.
 3. DURING SELECTIVE DEMOLITION AND CONSTRUCTION ACTIVITIES THAT PRODUCE DUST, ALL HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS ARE TO BE DISCONNECTED AND ALL VENTS AND RECEPTABLES SEALED TO PREVENT DUST INTRUSION. ADEQUATE VENTILATION FOR CONSTRUCTION WORK SHALL BE PROVIDED AFTER COMPLETION OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE THE DESIGN AND PERMITTING OF ALL NEW AND ALTERED HVAC EQUIPMENT.
 4. THE RETURN AIR PERIMETER SERVING THE MECHANICAL EQUIPMENT MUST BE FILLED DUCTED FROM THE EQUIPMENT TO THE CONDITIONED SPACE. DROPPED CEILING, WALL CAMIES AND EQUIPMENT PLATFORMS MAY NOT BE USED AS PERIMETERS.
 5. ALL NEW BATHROOMS ARE TO BE PROVIDED WITH A VENTILATION FAN EQUIPPED WITH A HUMIDISTAT CONTROLLER.

- GENERAL PLUMBING AND PLUMBING RELATED SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED PROFESSIONAL PLUMBER IN ACCORDANCE WITH ALL GOVERNING CODES, MANUFACTURERS INSTALLATION STANDARDS, AND IAPMO INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS INSTALLATION STANDARDS.**
1. AFTER SELECTIVE DEMOLITION, ALL EXISTING DOMESTIC WATER AND WASTE FOR DIFFERENCES, MAINTENANCE ISSUES OR INCOMPATIBILITIES WITH CONSTRUCTION PLANS, ANY DISCOVERED PROBLEMS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
 2. ALL EXISTING DOMESTIC WATER AND WASTE FOR DIFFERENCES, MAINTENANCE ISSUES OR INCOMPATIBILITIES WITH CONSTRUCTION PLANS, ANY DISCOVERED PROBLEMS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
 3. ALL NEW PIPES SHALL NOT EXCEED THE FOLLOWING WATER USAGE LIMITS:
 1. TOILETS: 1.28 GPF
 2. LAVATORY FAUCETS: 1.5 GPM
 3. KITCHEN FAUCETS: 1.8 GPM
 4. SHOWERHEADS: 2.0 GPM
 5. EXISTING FIXTURES NOT MEETING THE FOLLOWING GPM RATINGS SHALL BE REPLACED WITH NEW:
 1. LAVATORY FAUCETS: 1.5 GPM
 2. KITCHEN FAUCETS: 2.2 MAX GPM
 3. SHOWERHEADS: 2.5 MAX GPM
 6. ALL NEW BATHROOMS ARE TO BE PROVIDED WITH A VENTILATION FAN EQUIPPED WITH A HUMIDISTAT CONTROLLER.



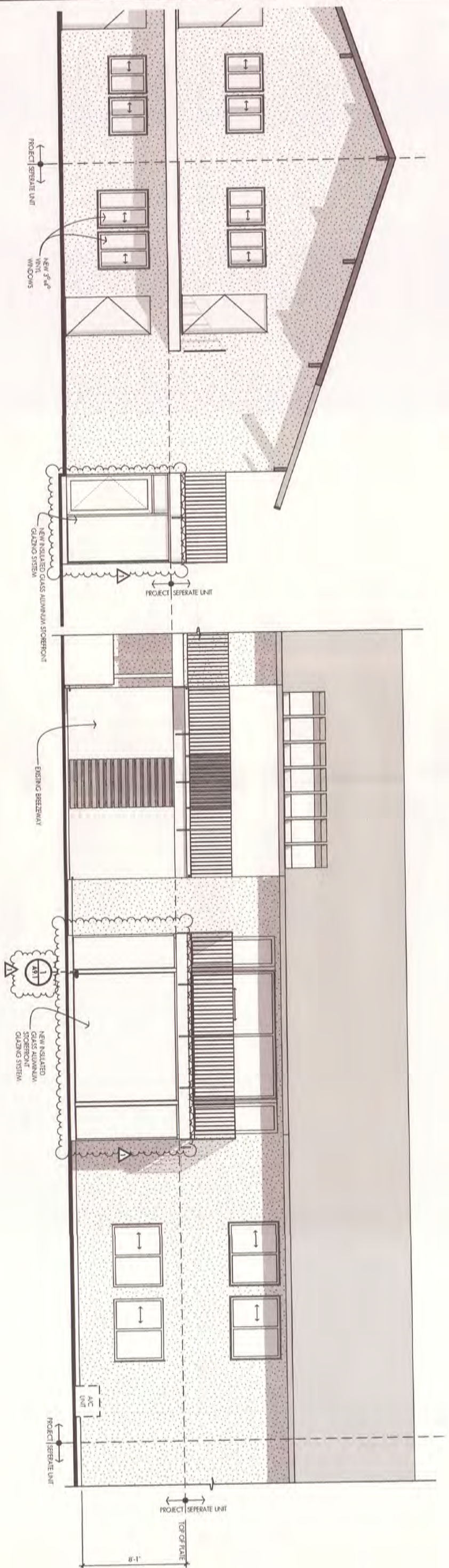
24 NOTES

10 MECHANICAL, ELECTRICAL PLUMBING FLOOR PLAN
SCALE: 1/4" = 1'-0"



22 EXISTING / DEMOLITION EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

14 EXISTING / DEMOLITION EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



24 REMODEL EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

16 REMODEL EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

A3.1

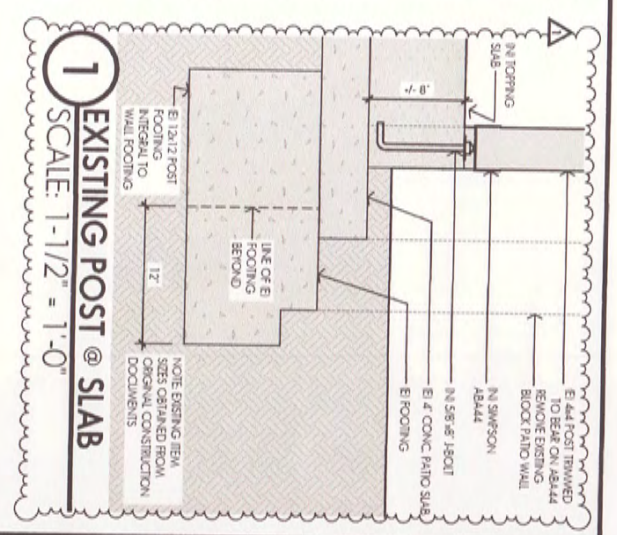
PROJECT NO.	1620
DESIGNED BY	AMH
DATE	12.22.2016
REVISIONS	
1	12.13.18


EXTERIOR ELEVATIONS



126-D
AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

adrian michael harrison
ARCHITECTURE & CONSTRUCTION



1620	 REVISIONS 1 2 13 18
DRAWN BY: AMH	
DATE: 12.22.2016	

A9.1

DETAILS



126-D
AVENIDA MAJORCA
LAGUNA WOODS, CA 92637

adrian michael harrison
ARCHITECTURE & CONSTRUCTION



Laguna Woods Village.

Attachment: 2

MANOR # 126-D

☐ ULWM

☐ TLHM

Variance Request Form

SA

Model: <u>Majorca</u>	Plan:	Date: <u>12/17/18</u>
Member Name: <u>Roger Flinn</u>	Signature: <u>Roger Flinn</u>	
Phone: [REDACTED]	[REDACTED]	
Contractor Name/Co:	Pho: [REDACTED]	

Description of Proposed Variance Request ONLY:

At the request of Manor Alterations, this Variance modification request is being resubmitted to further document the approval and installation of two doors needed to improve Manor emergency egress.

Dimensions of Proposed Variance Alterations ONLY:

FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 12/17/18 Check# 8647 BY: Roger Flinn

Alteration Variance Request

Check Items Received:

- ☐ Drawing of Existing Floor Plan
- ☐ Drawing of Proposed Variance
- ☐ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: _____

Complete Submittal Cut Off Date: 12/17/18

Meetings Scheduled:

Third AC&S Committee: _____

United AC&S Committee: 1/17/19

Board Meeting: 2/13/18

☐ Denied

☐ Approved

☐ Tabled

☐ Other: _____

JOB CARD

CITY OF LAGUNA WOODS
BUILDING DIVISION

INSPECTION REQUEST: (949) 639-0500

*** Requests MUST be received prior to 4 p.m. for next day inspection.

Job

Address: 126-D Ave magera

Description

of Work: Permit to Install

Patio Enclosure Ref Plan

Building

Permit #

S3441A

Mechanical:

Electrical:

Plumbing:

Owner:

WWM

Contractor:

Advanced Kitchener

Issue

Date: 5-4-18

Type of Construction

UB

At the time of Permit issuance, a copy of the Permit is also sent to the county assessors office. Failure to take "Final Inspection" within prescribed time frame will result with permittee paying "a new full permit fee".

Misc. Inspections Date Inspector

Pad Footings

Grade Beams

Epoxy Bolts

Notes

With each called inspection > Have PLANS & JOB CARD located near site of inspection.

Residential Addition / Remodel

INSPECTION REQUEST: (949) 639-0500

ALL WORK SHALL BE INSTALLED per the 2013 CRC, CMC, DEC, CPC

Building / Site Inspections

Asbestos Documentation	Footings/Rebar / Hardware	Inspector
Backwater Valve (If Required)	Underground Plumbing -10' Test	
UFER Ground in Footing	6" Sand Bed (No Rocks) Clean Backfill on Site	
Sewer Lateral w/ Test	Pre-Slab/ Underslab	
Track & ledger	Windows (In Progress)	
Radiant Barrier	Floor Nailing (Before Walls)	
Roof Deck Nailing - All Roof Penetrations, Attic Vents, Boundary Nailing		
Exterior Shear & Hardware - Shear Transfers shall Extend to Floor/ Roof Diaphragm:		

Combination Inspection

The Roof & Exterior Walls need to be Weathertight and ALL of these items are to be ready at the time of this inspection

Rough Framing - Per Plans	Trusses per City Stamped plan	Inspector
Windows (Leave Labels On)	Tempered / Egress	
Rough Electrical (Per CEC) Cable W/ 1 1/4" of Stud Face Protected		
Grounding Electrode Conductors - Ground Rod/ Bond Water & Gas		
Rough Mechanical (Per CMC) HVAC, Ducts, Misc. / HERS Test		
Access/ Platform/ Light/ Switch/ Outlet	Vents (Dryer/ Bath, Range)	
Insulation Baffle for Eave Vents	Insulation Installed per Title 24	
Fire Blocking/Caulking in Place	Drywall Nailing/ or Screwing	
Tub-Shower (Wet Wall)	Gas Test (After Drywall/ Cabinets)	
Exterior Lath (Seal All Penetrations) (No Scratch & Brown Inspections)		
Shower Pan/Sloped/Filled/Dam	Interior Lath (Seal Penetrations)	

General List of Final Inspection Items (Other Items May Apply)

Label All Breakers	AFCI / GFCI Where Required	Final
Sub Panel - Isolate Neutrals	Service - Inspectors Release	Electrical
Recheck Attic Installations	A/C Condenser Secured to Platform	Final
B'-Vent Terminations	Disconnect in Sight	Mech.
ALL Fixtures Installed & Sealed	Expose ALL Wall Cleanouts	Final
Paint Exterior Exposed Pipes	Hose Bibbs - Anti-Siphon	Plumbing
	Smoke/ CO Detectors Installed	

Planning Final

Final Inspection

Job Completed Please retain this card for your records

Date / Inspector

Revised 2.2014 mc

RESIDENTIAL ALTERATION - PERMIT

CITY OF LAGUNA WOODS – BUILDING SERVICES DIV.
(949) 639-0500 • 24264 El Toro Road, Laguna Woods, CA 92637

Job Site Address: 126 Avenida Majorca

PERMIT # D

RESIDENT INFORMATION

Resident Name: Roger Elean

Resident Telephone Number: [REDACTED]

Email Address: [REDACTED]

PROPERTY OWNER INFORMATION (Required)

(Co-Op owners identify ULWM as the owner and complete resident information.)

Property Owner Name: [REDACTED]

Owner Telephone Number: [REDACTED]

Email Address: [REDACTED]

Owner Mailing Address: [REDACTED]

City: [REDACTED] State: [REDACTED] ZIP: [REDACTED]

ARCHITECT, ENGINEER, OR AGENT INFORMATION

☐ Architect ☐ Engineer ☐ Authorized Agent

Name: N/A

Telephone Number: [REDACTED]

Email Address: [REDACTED]

Mailing Address: [REDACTED]

City: [REDACTED] State: [REDACTED] ZIP: [REDACTED]

OWNER OR AUTHORIZED AGENT'S DECLARATION

I certify that I have read this application and state that the information herein is correct. I agree to comply with all local ordinances and state laws relating to building construction and I make this statement under penalty of law. Furthermore, I hereby authorize representatives of the City of Laguna Woods to enter upon the above-listed property for inspection purposes.

Permit applications and plan submittals will expire by limitation in 180 days unless pursued in good faith or a written request for extension is approved. Issued permits will expire by limitation if work is not started within 180 days or if work is abandoned for more than 180 days. All extension requests must be submitted in writing to the City of Laguna Woods Building Official as specified by the CBC, Sections 105.3.2 & 108.5.

This permit is obtained on behalf of, and with knowledge of, the property owner.

Signature: [REDACTED] Date: 5/4/18

Print Name: [REDACTED]

Revision Date: November 2015

PERMIT # : 53441 A

VALUATION OF THIS PROJECT (Required)

\$ 5,000

CONTRACTOR'S INFORMATION

Contractor: Robert Ellerosp

License Number: [REDACTED] Expires: 8-18

Contractor's Telephone Number: [REDACTED]

Contractor's Mailing Address: [REDACTED]

City: [REDACTED] State: [REDACTED] ZIP: [REDACTED]

CONTRACTOR'S DECLARATION (Select only one)

I HEREBY AFFIRM UNDER PENALTY OF PERJURY that I am licensed under provisions of Chapter 9 (commencing with Section 7000 of Division 3 of the Business and Professions Code), and my license is in full force and affect.

☐ I HAVE AND WILL MAINTAIN A CERTIFICATE OF WORKERS' COMPENSATION INSURANCE, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation carrier and policy number are:

Carrier: [REDACTED] Expires: [REDACTED]

☐ I HAVE AND WILL MAINTAIN A CERTIFICATE OF CONSENT TO SELF-INSURE FOR WORKERS' COMPENSATION, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THE PERMIT IS ISSUED, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall herewith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

Signature: [REDACTED] Date: 4-23-18

Print Name: [REDACTED]

NOTES: [REDACTED]

Full Sized Plans Provided ☐

DESCRIPTION OF WORK (Check and complete all that apply)

Building Type: _____ Sq. Ft. Area: _____ Occupancy: _____

☐ Room Addition. Sq. Ft.: _____

☐ Balcony Cover. Sq. Ft.: _____ ☐ Lattice: _____ ☐ Solid: _____

☐ Balcony Enclosure. Sq. Ft.: _____ ☐ Lattice: _____ ☐ Solid: _____

☐ Patio Cover. Sq. Ft.: _____ ☐ Lattice: _____ ☐ Solid: _____

☒ Patio Enclosure. Sq. Ft.: 112 GLASS

☐ Washer/Dryer Hookup ☐ Vents _____

☐ Windows: _____ ☐ Doors: _____ ☐ Skylight/Solatubes: _____

(Identify only new construction windows and doors not eligible for Retrofit Certification)

Water Heater: ☐ Change-Out ☐ Relocation

HVAC Systems: ☐ New ☐ Change-Out ☐ Heat Pump ☐ Heat ☐ A/C Only ☐ Roof Unit Wt.: _____

☐ Central System ☐ In-Wall Unit ☐ Mini-Split Unit

Electrical: ☐ Receptacles: _____ ☐ Switches: _____ ☐ New Circuits _____

☐ Ceiling Fans: _____ ☐ Fixtures/Can Lights: _____

Panel: ☐ New Sub ☐ Change-Out ☐ Upgrade: _____ amps(SCE approval needed)

Bath: ☐ Remodel ☐ New ☐ Bath Split ☐ Water Closets (toilets): _____ ☐ Lavatory (sinks): _____

☐ Tub: _____ Type: ☐ Insert ☐ Tile ☐ Hydro-Tubs: _____

☐ Tub/Shower: _____ Type: ☐ Insert ☐ Tile

☐ Shower: _____ Type: ☐ Insert ☐ Tile

Kitchen: ☐ Remodel ☐ Dishwasher ☐ Microwave ☐ Cooking Unit

Roofing: ☐ Re-Roof ☐ Roof Repair. Sq. Ft.: _____

Type: ☐ BUR ☐ Composition ☐ Tile ☐ Metal ☐ Single Ply

ISSUANCE (Issuance does not denote approval of work)

Permit Issued By: [REDACTED] Date: 5-4-18

Plan Check: 69.00 Date: 5-11-18 Received By: [REDACTED]

Additional Plan Check: 172.00

Building: _____

Electrical: _____

Mechanical: _____

Plumbing: _____

Issuance: 34.00 Revision Fee: _____

SB 1473: 1.00

SMIP: .50

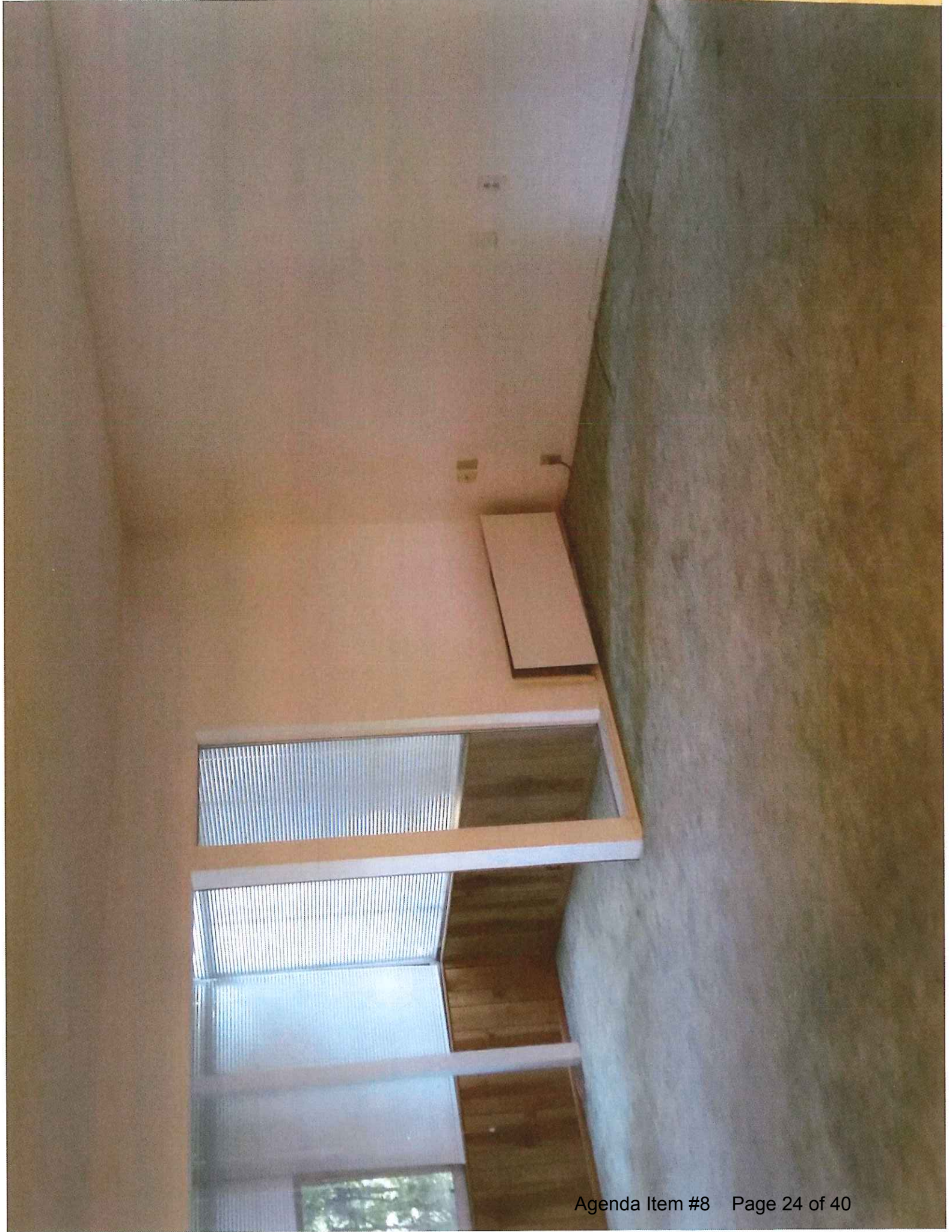
Energy Form Assist: _____

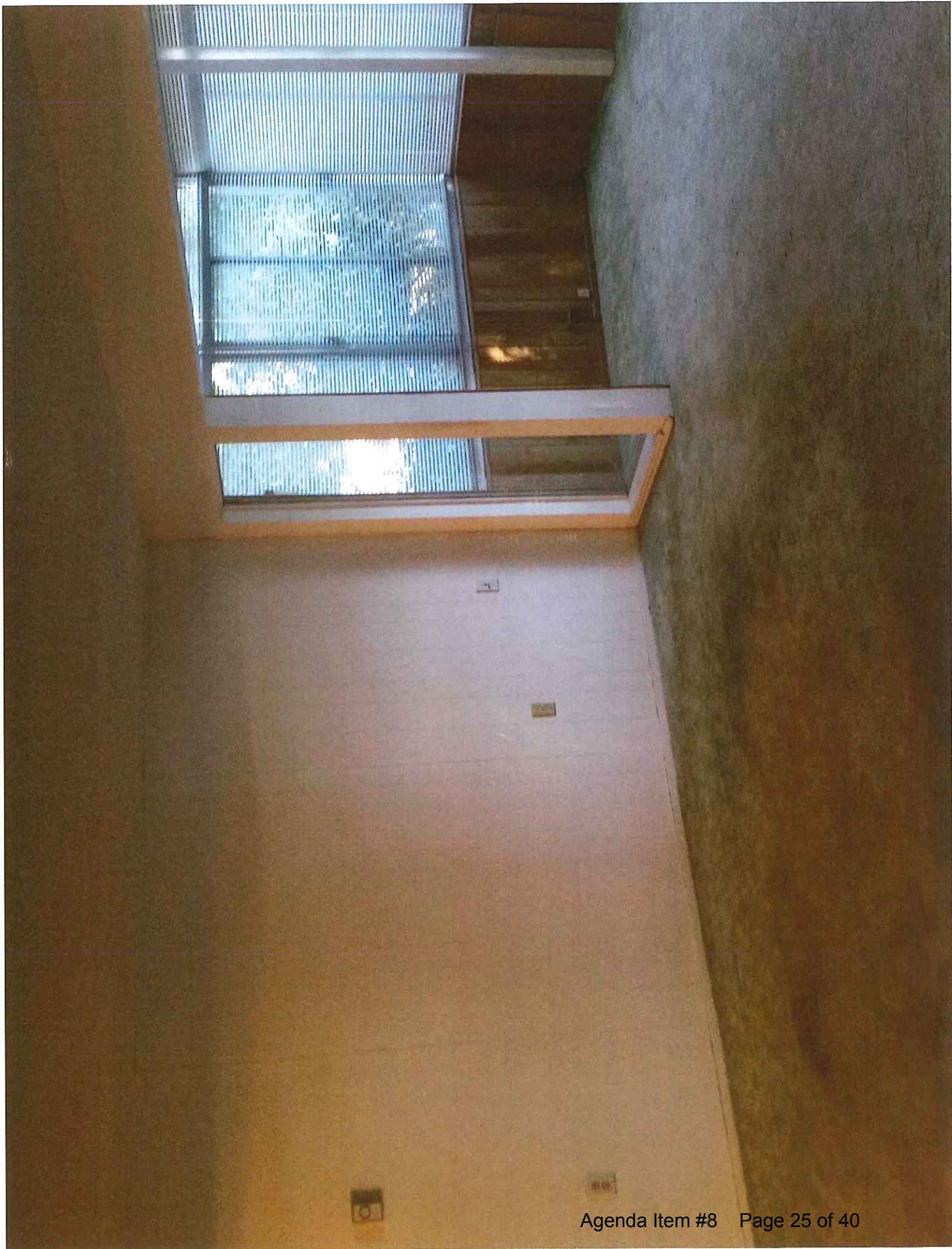
Reproduction: _____

C&DMMP Deposit: 276.00

TOTAL FEES: 276.00

BALANCE: _____











R310.2.3.2 Drainage. Window wells shall be designed for proper drainage by connecting to the building's foundation drainage system required by Section R405.1 or by an approved alternative method.

Exception: A drainage system for window wells is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in Table R405.1.

R310.3 Emergency escape and rescue doors. Where a door is provided as the required emergency escape and rescue opening, it shall be permitted to be a side-hinged door or a slider. Where the opening is below the adjacent ground elevation, it shall be provided with a bulkhead enclosure.

R310.3.1 Minimum door opening size. The minimum net clear height opening for any door that serves as an emergency and escape rescue opening shall be in accordance with Section R310.2.1.

R310.3.2 Bulkhead enclosures. Bulkhead enclosures shall provide direct access from the basement. The bulkhead enclosure shall provide the minimum net clear opening equal to the door in the fully open position.

R310.3.2.1 Drainage. Bulkhead enclosures shall be designed for proper drainage by connecting to the building's foundation drainage system required by Section R405.1 or by an approved alternative method.

Exception: A drainage system for bulkhead enclosures is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in Table R405.1.

R310.4 Bars, grilles, covers and screens. Bars, grilles, covers, screens or similar devices are permitted to be placed over emergency escape and rescue openings, bulkhead enclosures, or window wells that serve such openings, provided that the minimum net clear opening size complies with Sections R310.1.1 to R310.2.3, and such devices shall be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than that required for the normal operation of the escape and rescue opening. *The release mechanism shall be maintained operable at all times.*

Such bars, grills, grates or any similar devices shall be equipped with an approved exterior release device for use by the fire department only when required by the authority having jurisdiction.

Where security bars (burglar bars) are installed on emergency egress and rescue windows or doors, on or after July 1, 2000, such devices shall comply with California Building Standards Code, Part 12, Chapter 12-3 and other applicable provisions of this code.

R310.5 Dwelling additions. Where dwelling additions occur that contain sleeping rooms, an emergency escape and rescue opening shall be provided in each new sleeping room. Where dwelling additions occur that have basements, an emergency

escape and rescue opening shall be provided in the new basement.

Exceptions:

1. An emergency escape and rescue opening is not required in a new basement that contains a sleeping room with an emergency escape and rescue opening.
2. An emergency escape and rescue opening is not required in a new basement where there is an emergency escape and rescue opening in an existing basement that is accessible from the new basement.

R310.6 Alterations or repairs of existing basements. An emergency escape and rescue opening is not required where existing basements undergo alterations or repairs.

Exception: New sleeping rooms created in an existing basement shall be provided with emergency escape and rescue openings in accordance with Section R310.1.

SECTION R311 MEANS OF EGRESS

R311.1 Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

R311.2 Egress door. Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

R311.3 Floors and landings at exterior doors. There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed $\frac{1}{4}$ unit vertical in 12 units horizontal (2 percent).

Exception: Exterior balconies less than 60 square feet (5.6 m²) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

R311.3.1 Floor elevations at the required egress doors. Landings or finished floors at the required egress door shall be not more than $1\frac{1}{2}$ inches (38 mm) lower than the top of the threshold.

Exception: The landing or floor on the exterior side shall be not more than $7\frac{3}{4}$ inches (196 mm) below the

top of the threshold provided the door does not swing over the landing or floor.

Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

R311.3.2 Floor elevations for other exterior doors. Doors other than the required egress door shall be provided with landings or floors not more than $7\frac{3}{4}$ inches (196 mm) below the top of the threshold.

Exception: A top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided that the door does not swing over the stairway.

R311.3.3 Storm and screen doors. Storm and screen doors shall be permitted to swing over exterior stairs and landings.

R311.4 Vertical egress. Egress from habitable levels including habitable attics and basements not provided with an egress door in accordance with Section R311.2 shall be by *one or more ramps* in accordance with Section R311.8 or *one or more stairways* in accordance with Section R311.7 or both. *For habitable levels or basements located more than one story above or more than one story below an egress door, the maximum travel distance from any occupied point to a stairway or ramp that provides egress from such habitable level or basement, shall not exceed 50 feet (15 240 mm).*

R311.5 Construction.

R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.

R311.6 Hallways. The width of a hallway shall be not less than 3 feet (914 mm).

R311.7 Stairways.

R311.7.1 Width. Stairways shall be not less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than $4\frac{1}{2}$ inches (114 mm) on either side of the stairway and the clear width of the stairway at and below the handrail height, including treads and landings, shall be not less than $31\frac{1}{2}$ inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.2 Headroom. The headroom in stairways shall be not less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or

from the floor surface of the landing or platform on that portion of the stairway.

Exceptions:

1. Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom not more than $4\frac{3}{4}$ inches (121 mm).
2. The headroom for spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.3 Vertical rise. A flight of stairs shall not have a vertical rise larger than 147 inches (3734 mm) between floor levels or landings.

R311.7.4 Walkline. The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12-inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winder. If winders are adjacent within the flight, the point of the widest clear stair width of the adjacent winders shall be used.

R311.7.5 Stair treads and risers. Stair treads and risers shall meet the requirements of this section. For the purposes of this section, dimensions and dimensioned surfaces shall be exclusive of carpets, rugs or runners.

R311.7.5.1 Risers. The riser height shall be not more than $7\frac{3}{4}$ inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30 degrees (0.51 rad) from the vertical. Open risers are permitted provided that the openings located more than 30 inches (762 mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch-diameter (102 mm) sphere.

Exceptions:

1. The opening between adjacent treads is not limited on spiral stairways.
2. The riser height of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.5.2 Treads. The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch (9.5 mm).

R311.7.5.2.1 Winder treads. Winder treads shall have a tread depth of not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersec-

3. There is an actuation of a smoke detection system that is installed in accordance with Section 907 to provide coverage in areas within the building that are within 75 feet (22 860 mm) of the revolving doors.
4. There is an actuation of a manual control switch, in an approved location and clearly identified, that reduces the breakout force to not more than 130 pounds (578 N).

1010.1.4.2 Power-operated doors. Where means of egress doors are operated or assisted by power, the design shall be such that in the event of power failure, the door is capable of being opened manually to permit means of egress travel or closed where necessary to safeguard means of egress. The forces required to open these doors manually shall not exceed those specified in Section 1010.1.3, except that the force to set the door in motion shall not exceed 50 pounds (220 N). The door shall be capable of swinging open from any position to the full width of the opening in which such door is installed when a force is applied to the door on the side from which egress is made. Power-operated swinging doors, power-operated sliding doors and power-operated folding doors shall comply with BHMA A156.10. Power-assisted swinging doors and low-energy power-operated swinging doors shall comply with BHMA A156.19.

Exceptions:

1. Occupancies in Group I-3.
2. Horizontal sliding doors complying with Section 1010.1.4.3.
3. For a biparting door in the emergency breakout mode, a door leaf located within a multiple-leaf opening shall be exempt from the minimum 32-inch (813 mm) single-leaf requirement of Section 1010.1.1, provided a minimum 32-inch (813 mm) clear opening is provided when the two biparting leaves meeting in the center are broken out.

1010.1.4.3 Special purpose horizontal sliding, accordion or folding doors. In other than Group H occupancies, special purpose horizontal sliding, accordion or folding door assemblies permitted to be a component of a means of egress in accordance with Exception 6 to Section 1010.1.2 shall comply with all of the following criteria:

1. The doors shall be power operated and shall be capable of being operated manually in the event of power failure.
2. The doors shall be openable by a simple method from both sides without special knowledge or effort.
3. The force required to operate the door shall not exceed 30 pounds (133 N) to set the door in motion and 15 pounds (67 N) to close or open the door to the minimum required width.

4. The door shall be openable with a force not to exceed 15 pounds (67 N) when a force of 250 pounds (1100 N) is applied perpendicular to the door adjacent to the operating device.
5. The door assembly shall comply with the applicable fire protection rating and, where rated, shall be self-closing or automatic closing by smoke detection in accordance with Section 716.5.9.3, shall be installed in accordance with NFPA 80 and shall comply with Section 716.
6. The door assembly shall have an integrated standby power supply.
7. The door assembly power supply shall be electrically supervised.
8. The door shall open to the minimum required width within 10 seconds after activation of the operating device.

1010.1.4.4 Security grilles. In Groups B, F, M and S, horizontal sliding or vertical security grilles are permitted at the main exit and shall be openable from the inside without the use of a key or special knowledge or effort during periods that the space is occupied. The grilles shall remain secured in the full-open position during the period of occupancy by the general public. Where two or more means of egress are required, not more than one-half of the exits or exit access doorways shall be equipped with horizontal sliding or vertical security grilles.

1010.1.4.4.1 Special provisions—school classrooms. *School classrooms constructed after January 1, 1990, not equipped with automatic sprinkler systems, which have metal grilles or bars on all their windows and do not have at least two exit doors within 3 feet (914 mm) of each end of the classroom opening to the exterior of the building or to a common hallway used for evacuation purposes, shall have an inside release for the grilles or bars on at least one window farthest from the exit doors. The window or windows with the inside release shall be clearly marked as emergency exits.*

1010.1.5 Floor elevation. There shall be a floor or landing on each side of a door. Such floor or landing shall be at the same elevation on each side of the door. Landings shall be level except for exterior landings, which are permitted to have a slope not to exceed 0.25 unit vertical in 12 units horizontal (2-percent slope).

Exceptions:

1. Doors serving individual dwelling units in Groups R-2 and R-3 where the following apply:
 - 1.1. A door is permitted to open at the top step of an interior flight of stairs, provided the door does not swing over the top step.
 - 1.2. Screen doors and storm doors are permitted to swing over stairs or landings.
2. Exterior doors as provided for in Section 1003.5, Exception 1, and Section 1022.2, which are not on an accessible route.

3. In Group R-3 occupancies not required to be *adaptable or accessible*, the landing at an exterior doorway shall not be more than $7\frac{3}{4}$ inches (197 mm) below the top of the threshold, provided the door, other than an exterior storm or screen door, does not swing over the landing.
4. Variations in elevation due to differences in finish materials, but not more than $\frac{1}{2}$ inch (12.7 mm).
5. Exterior decks, patios or balconies that are part of *adaptable or accessible* dwelling units, have impervious surfaces and that are not more than 4 inches (102 mm) below the finished floor level of the adjacent interior space of the dwelling unit. See also Chapter 11A, Section 1132A.4.
6. Doors serving equipment spaces not required to be accessible in accordance with Section 1103.2.9 and serving an occupant load of five or less shall be permitted to have a landing on one side to be not more than 7 inches (178 mm) above or below the landing on the egress side of the door.

1010.1.6 Landings at doors. Landings shall have a width not less than the width of the stairway or the door, whichever is greater. Doors in the fully open position shall not reduce a required dimension by more than 7 inches (178 mm). Where a landing serves an occupant load of 50 or more, doors in any position shall not reduce the landing to less than one-half its required width. Landings shall have a length measured in the direction of travel of not less than 44 inches (1118 mm).

Exception: Landing length in the direction of travel in Groups R-3 and U and within individual units of Group R-2 need not exceed 36 inches (914 mm).

1010.1.7 Thresholds. Thresholds at doorways shall not exceed $\frac{3}{4}$ inch (19.1 mm) in height above the finished floor or landing for sliding doors serving dwelling units or $\frac{1}{2}$ inch (12.7 mm) above the finished floor or landing for other doors. Raised thresholds and floor level changes greater than $\frac{1}{4}$ inch (6.4 mm) at doorways shall be beveled with a slope not greater than one unit vertical in two units horizontal (50-percent slope).

Exceptions:

1. In occupancy Group R-2 or R-3, threshold heights for sliding and side-hinged exterior doors shall be permitted to be up to $7\frac{3}{4}$ inches (197 mm) in height if all of the following apply:
 - 1.1. The door is not part of the required means of egress.
 - 1.2. The door is not part of an accessible route as required by Chapter 11A or 11B.
 - 1.3. The door is not part of an *adaptable or accessible dwelling unit*.
2. In *adaptable or accessible dwelling units*, where Exception 5 to Section 1010.1.5 permits a 4-inch (102 mm) elevation change at the door, the threshold height on the exterior side of the door

shall not exceed $4\frac{3}{4}$ inches (120 mm) in height above the exterior deck, patio or balcony for sliding doors or $4\frac{1}{2}$ inches (114 mm) above the exterior deck, patio or balcony for other doors.

1010.1.8 Door arrangement. Space between two doors in a series shall be 48 inches (1219 mm) minimum plus the width of a door swinging into the space. Doors in a series shall swing either in the same direction or away from the space between the doors.

Exceptions:

1. The minimum distance between horizontal sliding power-operated doors in a series shall be 48 inches (1219 mm).
2. Storm and screen doors serving individual dwelling units in Groups R-2 and R-3 need not be spaced 48 inches (1219 mm) from the other door.
3. Doors within individual dwelling units in Groups R-2 and R-3 other than *adaptable or accessible* dwelling units.

1010.1.9 Door operations. Except as specifically permitted by this section egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.

1010.1.9.1 Hardware. Door handles, pulls, latches, locks and other operating devices on doors required to be accessible by Chapter 11A or 11B shall not require tight grasping, tight pinching or twisting of the wrist to operate.

These design requirements for door handles, pulls, latches, locks and other operating devices, intended for use on required means of egress doors in other than Group R and M occupancies with an occupant load of 10 or less, shall comply with SFM Standard 12-10-2, Section 12-10-202 contained in the CCR, Title 24, Part 12, California Referenced Standards Code.

1010.1.9.2 Hardware height. Door handles, pulls, latches, locks and other operating devices shall be installed 34 inches (864 mm) minimum and 48 inches (1219 mm) maximum above the finished floor. Locks used only for security purposes and not used for normal operation are permitted at any height.

Exception: Access doors or gates in barrier walls and fences protecting pools, spas and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the finished floor or ground, provided the self-latching devices are not also self-locking devices operated by means of a key, electronic opener or integral combination lock.

1010.1.9.3 Locks and latches. Locks and latches shall be permitted to prevent operation of doors where any of the following exist:

1. Places of detention or restraint.
2. In buildings in occupancy Group A having an occupant load of 300 or less, Groups B, F, M and S, and in places of religious worship, the main door or doors are permitted to be equipped with

Channel attached to existing Header
Existing **WOOD** Header Example

4"x1-3/4" Aluminum storefront Channel

90°

Typ
Exterior Deck
screw 1-5/8"

Low E 3
Insulated Glass
(Dual Pane)
Title 24 compliant

9/16" Laminated Glass

Sealant
CRL 33S acetic cure
-Silicone (all joints)
"TYP"

Exterior Deck
screw 1-5/8"

Clear Glazing vinyl 180°
CRL CLON128

6"
1-1/4" penetration
8"
8"

Clear Glazing vinyl 90°

Top View

1-1/2"w X 3/4" h
Aluminum Channel

Filled cement
block existing

1/4" annealed Glass

Inside

Outside

9/16" Laminated Glass

Surface #1 clear
Surface #2
Laminate sheet
Surface #3 Low-E 3
Laminate

Max U-factor	0.32
Max SHCG	0.25
Max Total Area	20%
Max West Face Area	5%

Glazing Vinyl

GLASS

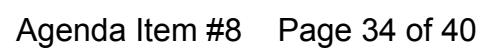
1-1/2"w X 3/4" h
Aluminum Channel

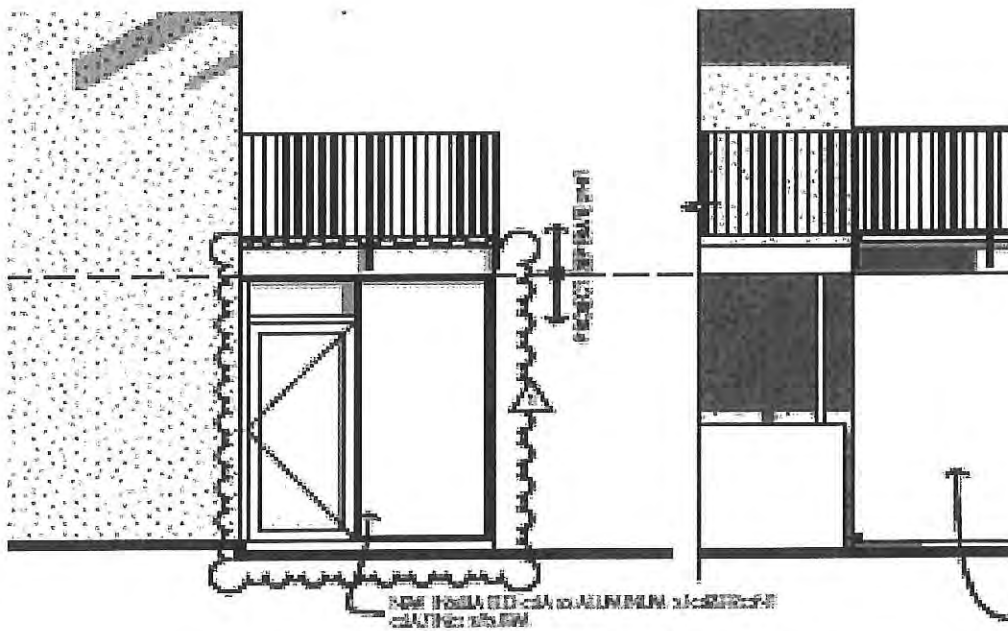
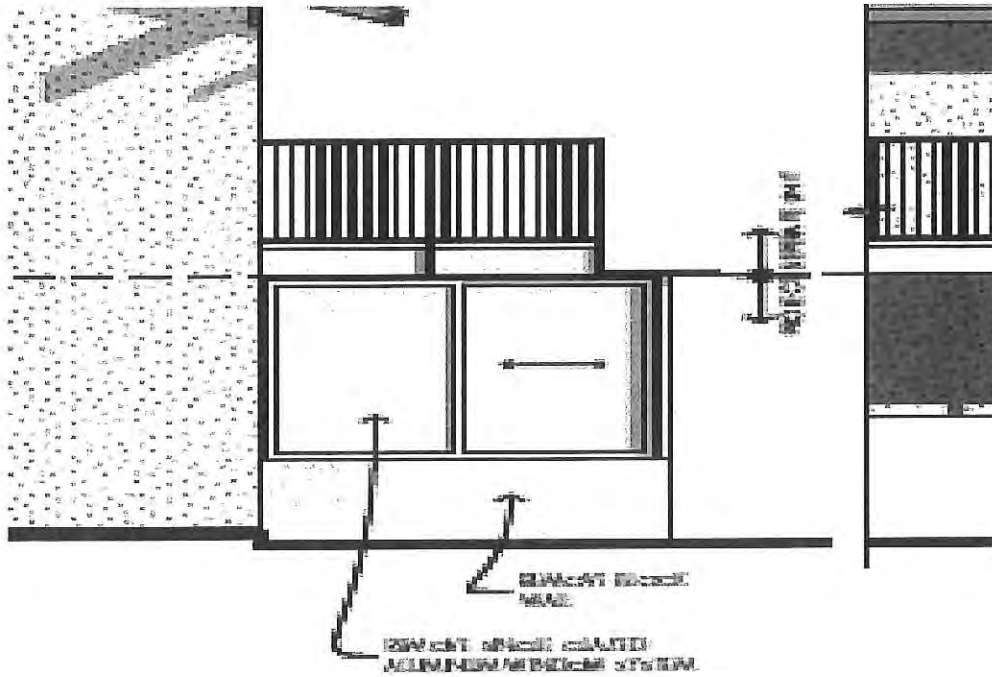
Existing support header

Cement slab

filled cement block (existing)

Glazing Vinyl





Attachment: 3

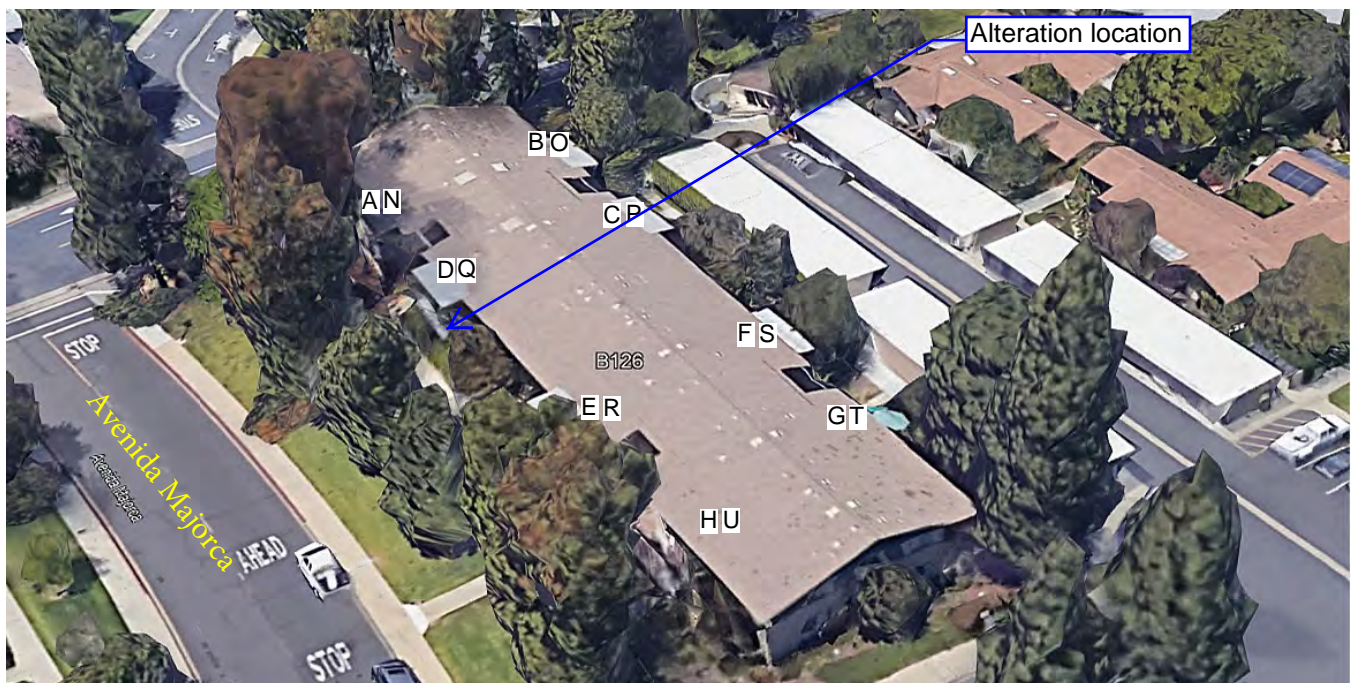








Attachment: 4





STAFF REPORT

DATE: January 17, 2019
FOR: Architectural Controls and Standards Committee
SUBJECT: Standard Plan Review Policy

RECOMMENDATION

Approve a resolution to introduce the Alteration Standard Plan Review Policy.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) reviews many variance requests to accommodate minor differences to previously adopted Standard Plans. The ACSC requested Staff to review the history and typicality of these types of requests and develop an alternative to the lengthy Variance Requests process.

DISCUSSION

Currently, there are 248 Standard Plans available for Members to use for alterations. Most of these plans were approved in the early 1990's. Although the plans were drawn and stamped by a licensed architect, they do not necessarily meet current codes. The plans are used as "guides" for the improvements that are currently acceptable in the Mutual. City officials require new architectural and structural plans for most of the alterations shown on the plans.

Staff reviews numerous requests each year for alterations that can be accomplished by over-the-counter Mutual Consents using previously approved Standard Plans. These alterations include atrium enclosures, small room extensions and bathroom splits. When one of these alterations involves work that differs from the existing Alteration Standard Plans, the alteration would be automatically reviewed as a variance. In an effort to reduce the number of variance requests and reduce the time for alteration approval, the ACSC directed Staff to review previous Variance Requests that involve these types of alterations.

After completing the review, Staff has determined that developing a policy that would enable Staff to approve minor variations from the Standard Plans would be beneficial. Therefore, Staff has developed the Alteration Standard Plan Review Policy (Attachment 1) that would give the discretion to approve minor deviations from the Standard Plans, at the Staff level.

The proposed policy would allow Staff to approve minor, nonstructural changes, such as those necessary for closets, windows, door types, and locations, when reviewing Mutual Consent applications. The policy would restrict Staff from approving changes that affect the structural integrity of the building, affect room usage, create new rooms, or relocate load bearing walls. Those types of alterations would still be required to go through the variance process.

FINANCIAL ANALYSIS

None.

Prepared By: Kurt Wiemann, Permits, Alterations and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1: Resolution 01-19-XXX Alteration Standard Plan Review Policy



Attachment 1

Standard Plan Review Policy
Resolution 01-19-XX

WHEREAS, the Village has 248 previously approved Standard Plans available for Members to use for alterations with an over-the-counter Mutual Consent without having to use the variance process or need further Board approval;

WHEREAS, The Architectural Control and Standards Committee (Committee) reviews numerous variance requests from members proposing to make alterations using a previously approved Standard Plan with minor variations;

WHEREAS, current policy requires all variations from a Standard Plan to be reviewed by the Committee;

WHEREAS, the Committee desires to simplify the approval process for alterations and minimize the time for review of these alterations; and

WHEREAS, the Committee directed Staff to create a policy pertaining to minor revisions to Standard plans for Members who are proposing to perform alterations to their units using a previously approved Standard Plan.

NOW THEREFORE BE IT RESOLVED, February 12, 2019, the Board of Directors adopts Resolution 01-19-XXX (Standard Plan Review Policy); and

RESOLVED FURTHER, architectural drawings shall be provided for all revisions to Standard Plans to the Alterations Department office for review and to determine if they meet the intent of this policy, including but not limited to, closets, windows, door style or placement;

RESOLVED FURTHER, Staff shall thoroughly review the submitted drawings. If Staff determines that the proposed alteration does not affect load bearing walls or alter the purpose of rooms as depicted on the Standard Plan, meets the intent of this policy, and conforms to all pertinent alteration policies, Staff may issue a Mutual Consent; and

RESOLVED FURTHER, if Staff determines that the proposed alteration does not meet the intent of this policy and the Member desires to pursue the proposed alteration, Staff shall process the request as a variance for review by the Committee; and

RESOLVED FURTHER, all proposals for revisions that are not considered minor or alter the exterior aesthetics of the Unit shall require Board approval via the variance process; and

RESOLVED FURTHER, that the officers and agents of this corporation are hereby authorized on behalf of the corporation to carry out the purpose of this resolution.