

OPEN MEETING

REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Thursday, January 17, 2019 – 9:30 a.m. Laguna Woods Village Community Center Board Room 24351 El Toro Road

NOTICE AND AGENDA

- 1. Call to Order
- 2. Acknowledgement of Media
- 3. Approval of the Agenda
- 4. Approval of Meeting Report for December 20, 2018
- 5. Committee Chair Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

None.

Items for Discussion and Consideration:

8. 126-D (Majorca, 8A) Retain Unapproved Modification to Previous Variance Requiring Common Area

Reports:

9. Discuss and Review Alteration Standard Plan Policy

Items for Future Agendas

None.

Concluding Business:

- 10. Committee Member Comments
- 11. Date of Next Meeting February 21, 2019
- 12. Adjournment



OPEN MEETING

REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Thursday, December 20, 2018 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road, Laguna Woods, CA 92637

REPORT

COMMITTEE MEMBERS PRESENT: Carl Randazzo – Acting Chair, Juanita Skillman, Gary Morrison, Reza Bastani

DIRECTORS PRESENT: Andre Torng, Elsie Addington

COMMITTEE MEMBERS ABSENT: Advisors Mike Mehrain, Cash Achrekar and Kay Anderson

ADVISORS PRESENT:

STAFF PRESENT: Kurt Wiemann, Gavin Fogg, Eve Morton

1. Call to Order

Chair Randazzo called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

No media were present.

3. Approval of the Agenda

Director Bastani moved to approve the agenda but to switch agenda items #8 and #9 since a resident was present. The Committee was in unanimous support.

4. Approval of the Report for October 18, 2018

Director Morrison made a motion to approve the report. Director Bastani seconded. The Committee was in unanimous support.

5. Committee Chair Remarks

None.

6. Member Comments

None.

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7. Department Head Update

Mr. Wiemann reported that he has been promoted and that Staff is looking for a replacement for his position. He also reported that the committee will now be meeting in the Boardroom due to the fact that new security controls will be in place for the second floor starting January 1.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Items for Discussion and Consideration:

8. 58-E (Barcelona, 10B) Patio Enclosure

Director Morrison moved to accept Staff's recommendations. President Skillman seconded. The Committee was in unanimous support.

9. 145-C (La Corona, 3B) Room Extension onto Patio

President Skillman moved to accept Staff's recommendations with the following additional Conditions of Approval:

- Contractor must use Quiet Rock drywall.
- Contractor shall endeavor to minimize noise disruption to neighboring units during construction.
- Contractor shall install clear plastic over the adjacent bedroom window at 145-B during active construction for dust and noise mitigation.

Director Morrison seconded. The Committee was in unanimous support.

10.445-A (La Corona, 3B) Install Clear Skylights

President Skillman moved to accept Staff's recommendations. Director Morrison seconded. The Committee was in unanimous support.

Updates to Standards

11. Review Revisions to Architectural Standard 22: Patio Slabs

Mr. Wiemann reported that he had asked both the paving crew and Director Ernesto Munoz, P.E. to look at this Standard and based on their feedback, made some additional updates to the Standard.

President Skillman made a motion to accept Staff's updates. Director Morrison seconded. The committee was in unanimous support.

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12. Review Revisions to Architectural Standard 25: Tubular Skylight Installations

Director Morrison made a motion to accept Staff's updates. President Skillman seconded. The committee was in unanimous support.

13. Discuss Rescinding Architectural Standard 26: Solariums and Garden Rooms

Chair Randazzo made some minor corrections to the report.

Director Morrison made a motion to accept Staff's updates. Director Bastani seconded. The committee was in unanimous support.

Reports:

14. Discuss and Review Revising the Alteration Inspection Fees

Mr. Wiemann reviewed the revised fees. Discussion ensued.

The committee requested that Mr. Wiemann double check on whether vinyl flooring requires a City permit and make that update to this fee schedule, if appropriate.

Director Morrison made a motion to accept Staff's recommendation and send it on to the Board. Director Bastani seconded. The committee was in unanimous support.

Items for Future Agendas

Review and discuss a policy to reduce the number of variances

Concluding Business:

15. Committee Member Comments

Various comments were made.

16. Date of Next Meeting - January 17, 2019

17. Adjournment at 11:12 a.m.

Carl Randazzo, Acting Chair Kurt Wiemann, Staff Officer

Eve Morton, Alterations Coordinator 268-2565



STAFF REPORT

DATE: January 17, 2019

FOR: Architectural Control and Standards Committee

SUBJECT: Variance Request: Mr. Roger Flinn of 126-D (Majorca, 8A)

Retain Modification to Previous Variance Requiring Common Area

RECOMMENDATION

Staff recommends the Board deny the request to retain the doors constructed on the patio enclosure and approve keeping the topping slab as constructed, with the conditions as stated in Appendix A.

BACKGROUND

On June 13, 2017, the United Mutual Board approved a Variance Request for a patio enclosure that employs store front glazing as its main component. It was to be installed within the original patio dimensions of Unit 126-D (Exclusive Use Common Area). Following a routine building inspection, a Correction Notice was issued on November 8, 2018, for performing alterations outside of the approved scope of work. On December 17, 2018, Mr. Flinn submitted a variance to retain the alteration patio enclosure as constructed.

The patio enclosure was constructed within the original patio area; the proposed concrete landings on either side of the patio enclosure fall onto Common Area.

Due to the existing United Mutual Common Area Usage Policy prohibiting any common area being granted to an individual Member for exclusive use, policy requires Board approval prior to issuing a Mutual Consent.

Per the Committee's direction regarding variance requests for retaining non-authorized alterations, Compliance was notified on December 21, 2018, of the unauthorized alteration; a disciplinary hearing is pending.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

The plans submitted and approved for the original variance in June 2017, show plan and elevation drawings depicting only windows to be used to construct a 16'11" by 8' patio enclosure within the existing front patio of the unit (Appendix B). Due to the proposed glazing system containing only windows, common area was not required for the patio enclosure. Furthermore, Staff made contact with the projects' architect prior to the Committee's review and confirmed that emergency egress requirements would be satisfied with both the proposed window system and the existing living room entry door.

During a recent site inspection, Staff found windows were replaced with a single swing door, 2'8" wide by 6'11" tall on both east and west elevations of the alteration. For the alteration to meet local and state building codes, the new doors to the patio enclosure would require a concrete landing that would fall onto Common Area.

Based upon United Mutual Common Area Usage Policy, Staff recommends denial of doors on the alteration patio enclosure.

A second modification to the approved variance is the extension of the concrete topping slab, taking it to the end of the original patio slab (Attachment 3). Approved plans show the topping slab ending at the glazing; the original patio slab extends to the end of the designated patio area (Appendix B).

Due to the topping slab being located within the original designated patio area and the low grade of the surrounding landscape, Staff recommends approval to keep the extended topping slab with two additional conditions:

- 1. Topping slab shall be given a stucco finish on all exterior surfaces and painted to match the rest of building.
- 2. Prior to completion of Mutual Consent, Shareholder shall contact Landscape Division to review and install landscape to sufficiently restrict the view of the exterior topping slab from the street and walkways. All landscape modifications shall be at the owner's expense.

Currently, there is one pending Mutual Consent for Unit 126-D with 13 items:

Description	Issue Date	Mutual Permit
Door Revision, Entry	3/27/2017	170578
Retrofit Sliding Glass Door in Patio	3/27/2017	170578
Electrical Throughout	3/27/2017	170578
Retrofit all Windows	3/27/2017	170578
Tub to Shower	3/27/2017	170578
Shower to Shower	3/27/2017	170578
Demo Throughout	3/27/2017	170578
Central Heating and Air	3/27/2017	170578
Wall Revision in Kitchen	3/27/2017	170578
Wall Revision in Bathroom 1	3/27/2017	170578
Wall Revision in Bathroom 2	3/27/2017	170578
Electrical Panel, Changeout	3/27/2017	170578
Patio Enclosure (Variance)	3/27/2017	170578
Extension Permit	3/27/2017	170578

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 126-A, 126-B, 126-C, 126-E, 126-F, 126-G, 126-H, 126-N, 126-O, 126-P, 126-Q, 126-R, 126-S, 126-T, 126-U, 201-A, 201-B, 201-C and 201-D, on January 4, 2018, due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

There have been no alterations permitted on Common Area since the previous Common Area Usage Policy was voted into effect in June 13, 2017, via resolution 01-17-94, however patio enclosures and room extensions onto Exclusive Use Common Area have been approved via Mutual Consents and variances during this time.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 126-D.

Prepared By: Gavin Fogg, Alterations Inspector

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Appendix A: Conditions of Approval

Appendix B: Approved Plans, June 13, 2017

Attachment 1: Site Plans

Attachment 2: Variance Request, December 17, 2018

Attachment 3: Photos Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of Approval:

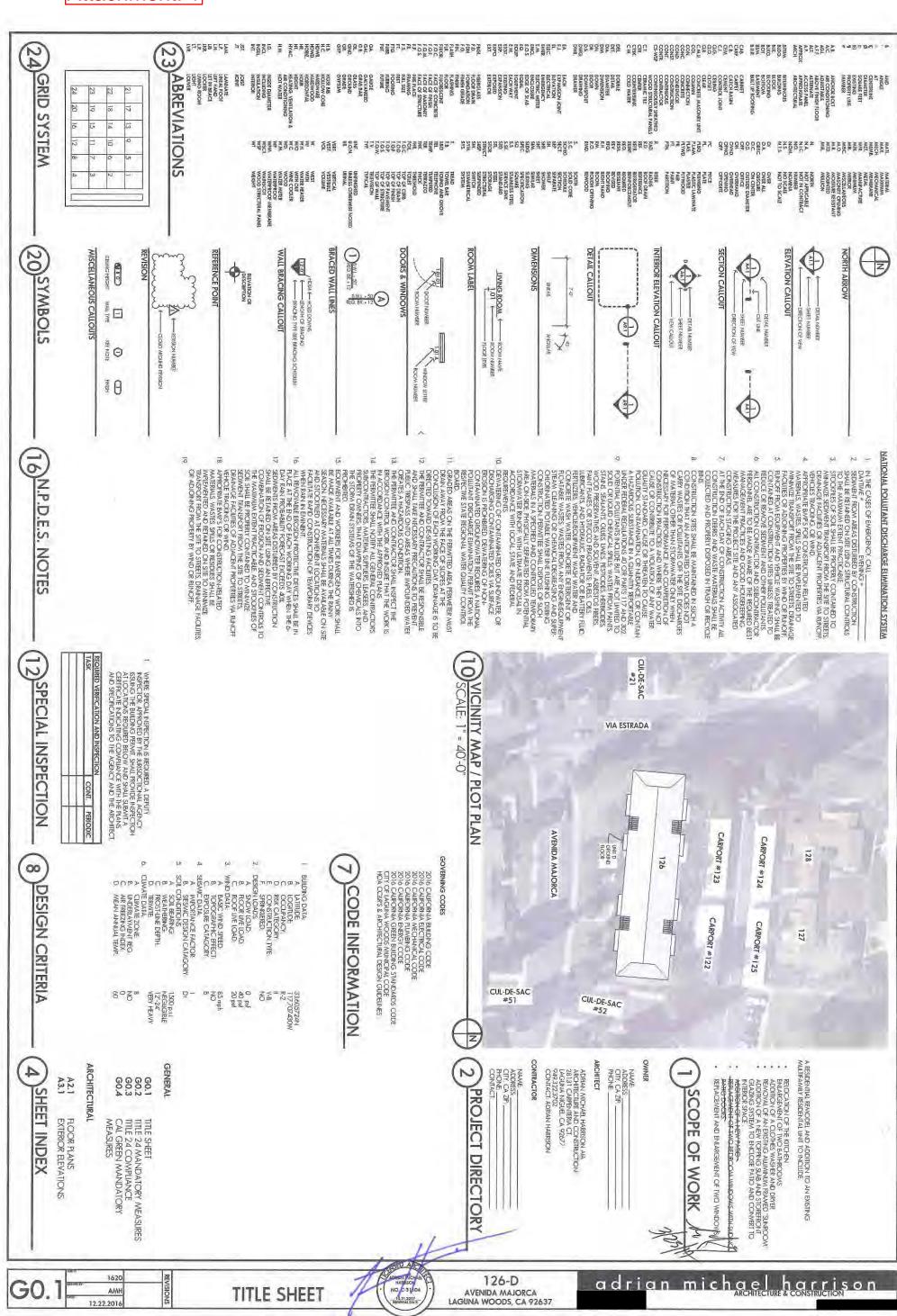
- 1. Topping slab shall be given a stucco finish on all exterior surfaces and painted to match the rest of building.
- 2. Prior to completion of Mutual Consent, Shareholder shall contact Landscape Dept. to review and install landscape to sufficiently restrict the view of the exterior topping slab from the street and walkways.
- 3. No improvement shall be installed, constructed, modified or altered at Unit 126-D, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Shareholder s ("Shareholder") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- 4. A Variance for Alterations has been granted at 126-D for retaining extended topping slab, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Shareholder.
- 5. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Shareholder at **126-D** and all future Mutual Shareholders at **126-D**.
- 6. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- 7. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- 8. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos

- Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- 9. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Shareholder may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Shareholder 's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must be repaired at the Mutual's expense prior to installation.
- 10. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Shareholder. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
- 11. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
- 12. Prior to the issuance of a Mutual Consent for Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "United Laguna Woods Mutual Color Selections" at Resident Services, located at the Community Center first floor.
- 13. Shareholder hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- 14. Shareholder shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Shareholder acknowledges and agrees that all such persons are his/her invitees. Shareholder shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations. Shareholder shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or

- other charge levied in connection therewith.
- 15. Shareholder is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com) in place to admit contractors and other invitees.
- 16. Shareholder's contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- 17. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until both a Final Mutual Consent for Alterations and a Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
- 18. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Shareholder or the Property, to cover and/or recoup any costs whatsoever, including, but not limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Shareholder; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Shareholder 's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
- 19. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Shareholder agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
- 20. Any remaining Conformance Deposit is refundable if the Shareholder notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Shareholder's address of record with the Mutual. Under no circumstances shall Shareholder be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Shareholder within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
- 21. All improvements must be installed in accordance with the California State

- Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- 22. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- 23. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- 24. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- 25. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- 26. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- 27. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- 28. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- 29. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Shareholder. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- 30. Mutual Shareholder shall indemnify, defend and hold harmless United and its officers, directors, committee Shareholders and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual Shareholder's improvements and installation, construction, design and maintenance of same.

Attachment: 1



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The construction documents must inclose a backlon for interiors and meteriors apapament and seathings for instance and meteriors apapament and seathings for instance of conduct them this active zone to the point of interconnection with the absorbed related to single bankly resolvence the point of interconnection with the absorbed related to single bankly resolvence that point of interconnections with the backlond with the backlond related to the single-point preferred interconnections with the backlond related to the single-point preferred the control of t	Seletate) Design Loads on Construction Decuments. For eross of the roof designalist de soler zone, the stocking design beds for conf dead load and roof the load must be clearly indicated on the construction documents.	stading. Any admiction bounded on the rule of any often part of the utalizing that project allows a solar zone matter be included in the tall and project of the utalizing that project allows a solar zone matter be included projection; of its individual project of the project of the project project project of the meaning point of the utalization memory of it the vector plane.	Shaking. The solar zone much not contain any obstructions, including but not arrited to vents, chimneys, excitectural testimes, and cool including springers.	Orlimitation, All sections of the order zone located on stage-stoped roofs must be exemised tretysen 110 degrees and 270 degrees of rue with	Identima Arta. The clast protes make the calculation and set described below the softence must comply with because polythory, emphasized the content of adopted by a focal installable of the order protes of the content adopted by a focal installable of the order protes of the content adopted by a focal installable of the order protes of the content o	Low-rise Multi-family Buildings. Low-rise multi-family buildings must comply with the requirements of § 110.10(b) through § 110.10(d).	Stagk Family Residences. Single limity endeteresh located in inductions with an or more single tankly mickees a stof where the explosion for a whole in automism may for the residence has been deemed complete by the enfactment agreen most ecosy); with the requirement of \$1,11,10() through \$110,10(0).		Marior Common Aveas of Levertas Milki-Family Recidental Belladaga, in a technic mollitariji readonojel bujdog aniest he teli iniejori oranijo risas in a zidoje deliga dajata inno in 1900 pocepa d.P. ili 50 cera pormonejo jelilari glinica je risabsizilog mate in Complyviti bri de applicabe repulmante in 1981 119.0 (20.0), 10,01, 10,05 mai 14.00 and I. Ljubrity traslada in omitične ved utevelik mate is controled by occapant componiti in educati in igilizar grown in comi pisco by al text. Su poceni. The occupant amonte ilustric suparities de familio in sicilitica in mei of from indicated potin. d. in green and strona.	Interior Comment are one description that the comment of the comme	Headdential Gereges for Eight or lifere Vehicles. Lighting for residents partiting ganges for eight or more validas must comply with the applicable requirements for nonresidental ganges in §5, 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.	Medically Humaniaed accrede supple, marriary Auminaed accrede signs must comply with g নাত 9; or must consume no more than 5 edito or gover as determined according to § 130.0(d).	Residential Gutdoor Lighting, Gutdoor lighting for residential parking lots and residential corports with a total of eight or more valuouse per elie must correly with the applicable requirements in §§ 170.9, 130.0, 130.2, 130.4, 140.7, and 141.0.	Residential Outdoor Lighting. For low-disc residential buildings with four or more dwalling units, pulstoot lighting not regulated by § 150,018/38 or § 156,018/30 must comply with the applicable resultements in §§ 119.9, 130.0, 130.2, 130.4, 140.7 and 141.0.	Residential Outdoor Lighting. For joine te millerismy tenderials buildings, outdoor lighting for private protos cristiances, balcomies, was proteines and contract withing the millerism and proteines and contract withing the millerism and proteines and contract withing them public vehicles gardine must comply walth getter § 150,005,04 or with the applicable requisionsess in §§ 110.9, 130.0, 130.2, 130.1, 40.0 if and 141.0.	deficiential doctores Lighting. For eight entity residents soldings, audoor lighting parmently immund be residential buildings on bother buildings on be done buildings on the scene of most the requestion that the first part of the residential and the requestion of the residential and t	Interior Switches and Controls. Undercebinet lighling must be switched septimisty from other lighting systems:	Interior Syntiches and Costrols. Diminera of vecestry sensors must control of fundational required to have light sources compliant with Relevences John Appendix JAB, except luminatives in obsets tens than 70 equates leat and tuminations in hallways."	interior Switches and Controls. In bettercome, genegas i surply rooms, and utility rooms, at beak one furnises in each of these spaces must be controlled by a vacautry sorteo.

Exemply investment of Control Resident Resident

§ 150.0(k)2l;	§ 150 0(1)234:	150 0(1)26	\$ 150 0 (K)ZF:	§ 150.0(1)2E:	§ 150.0(k)ZD:	§ 150.0(t)2C:	§ 150.0(k)2B	\$ 150 0 (k)2A:	9.150.0(i)1H/	g 150.0(t)8'S.	9 150.0(k)1P:	31(0)001()	§ 150,0(I)1D.	9 (50.0(4))10.	\$150,0(h) iB:	\$ 150.0(k)1/k:	(e)E:011 §	§ 110.9:	Lighting Moreuren:	(d)0.05t §	5,110.5:	§ 110.4(b)3:	6 110 4(6)2	\$ 110.4(b))	(e) (* 011 §	Pool and Spa S	§ 150.0(o)1A:	§150.0(a)	§ 150.0(m)13:	(E
interior systems and controls. A materior programment controls may be used to comply with ominist requestments or 3 rousing in a privilega the functionality of a dimited executing to § 110.9, and complete with all other applicable requirements in § 150.0(x)?	Inleider Skrikhete and Centoch, An ENICS may be used to comply with incomor sentor requirements in § 150.0(s) if if mode at of the loadwigh (it funds at vectoring newser executing to § 100.5) the inhabitation Certificate requirements of § 300.6 this ENICS requirements of § 130.6 this ENICS requi	institot avectore and countries. An einsty instalgainnist consideration presin (2:00-5) may be used us careby win contrie arcumenta i it. functione an administra according by a 150,0 model the installation Certificate originatives of 300-6, made the ENCS requirements of § 120-5(0, and meetic all other requirements in § 150-0(0)2.	Interior Switches and Controls. Lighting cortrols must corruply with the applicable requirements of § 110.9.	Inhartor Switches and Controls. No config must bypass a dimmer or Vesamoy series function if the control is installed to comply with § 150 (NX).	Interior Symboles, and Controls. Controls and equipment must be installed in accordance with manufactures a restrictions.	Interior Switches and Controls. Luminaires must be awached with readily accessible controls that parmit the luminoline, to be monutally awarding ON wild OFF.	Interior Switches and Controls. Exhaust lans must be switched apparately from lighting systems.	Interior Switches and Controls. All lorward phase out dimmers used with LEO light sources must comply with NEWA SSL 7A.	Enclosed Luminaires. Light sources installed in solicised luminaires must be UAS compliant and must be marked with "UAB-2018-E."	Seraw based kunhathra, Sonna baned immanise must no ba recounce downlook luminalise in cellings and must contin hence that comply aith Federance John Apparatis, Arib. Instaled lamps must be inseted with "JARS-2016" or "JAR-2016" E as specified in Reference John Apparatis, JAB.	Lighting Integral to Exhaunt Ferrs. Lighting Integral to softwar fars (except when installed by the manufactural is Kitchan exhaunt hoots) must meet the applicable regularments of § 150.0(b).	Right Lights. Primanelly knaled night lights and right lights integral to installed turniminar or existest two smitche related occoration no more than 5 water of power per laminates or exhaust for ex determined in accordance with § 190.0(c). Night lights do not need to be contrained by vessions' essence.	Electronic Ballacts. Ballasts for fluorescent temps relied 13 walts or granter must be electronic and must have an output frequency no less than 20 kHz.	Apposes Devenlight Liminates in Collings. Liminates recorded into outlings must used of ot the reprovements for installation contact (IIC) including and releasing sealors, maintenance, and social and light devene or described in § § \$10.0(N) CL. A 2016 E (ght source raid of advanced beinghold) introducers and the beninded by Tabli Introducers in a location of the colling of the	Blank Encyfeid Bocse. The ourster of electrical bocse and see more train 5 leed above the final hot floor and do not contain a funntamene when devices must be no greater than the number of bedroome. These electrical bound must be served by a thinner, vacantly sentor mainty, or bet greated control.	Luminaire Efficacy. All rassilled luminaires must be high efficacy in accordance with TABLE 150.0-4.	JAS High Efficacy Light Sources. To qualify as a JAS high efficiety light source for compliance with § 150.0(k), a residential light source must be conflict to the Energy Commission eccording to Releases Sont Appendix JAS.	Lighting Controls and Components. All lighting control devices and systems, ballests, and lambusces must meet the applicable requirements of § 110.6."		Poel Bystama pod Equipmans Installation, Residential pod systems or equipment must meet the specified restatements for pump acting, flow mile, them, and valves.*	Pilot Light. Hatest gas pool and ape heaters must not here a continuously burning pilot ight.	Objectional in lets and time system as for pools. Pools must have directional rides that jobqualisty mix this pool water, and a time system and will allow all purpose to be set or programmed to run only during off-pools also bid denored periods.	Covers, Outdoor pools or spins that have a heat pump or goo healer must have a nover;	Piping. Any pool or spin heeling equipment med be installed with all least 36 inchase of pipe between the filter and the heater, or destroated stands and return feres, or built-in or built-to accreticated to take to take to state our built-in or built-in accreticates to state to state to state our property of the filter and the filter	Conflictation by Basel Battures. Any polar app healing system or polynosis transit a critical trains of after bothoday is termed referency, lest coupled with the Application Ethiotopy (Sealabource, or over of earth for manufer all about the insure first about a sharing of the pheales without adopting the Processor without adopting the Processor and the Application of the	Pool and Spa Systems and Equipment Measures:	Field Veriffication and Disgnostic Teating. Whole-building ventilation stiffing must be outfirmed it mugh field verification and disgnostic testing, in accordance with Reference Residential Appendix P43.7.	Verifialden for Indoor, Alf Gualilly, Alf dealing unkai must med the regularents of ASERIAE Standard 52.2. Hallies infolder gignation net confuneus capatings of servinal forced at system air handlars used in central fan integrated verifiation systems are partial-sible methods of provising whose-building in confusion.	Dad Systems Stating and AP Film Critis Statin, Spean condisoning system that tare forced and cach to supply confile for an occupied in face must have been continued for the stating of the spean of the stating stating the stating s	2016 Low-Rise Residential Mandatory Measures Summary

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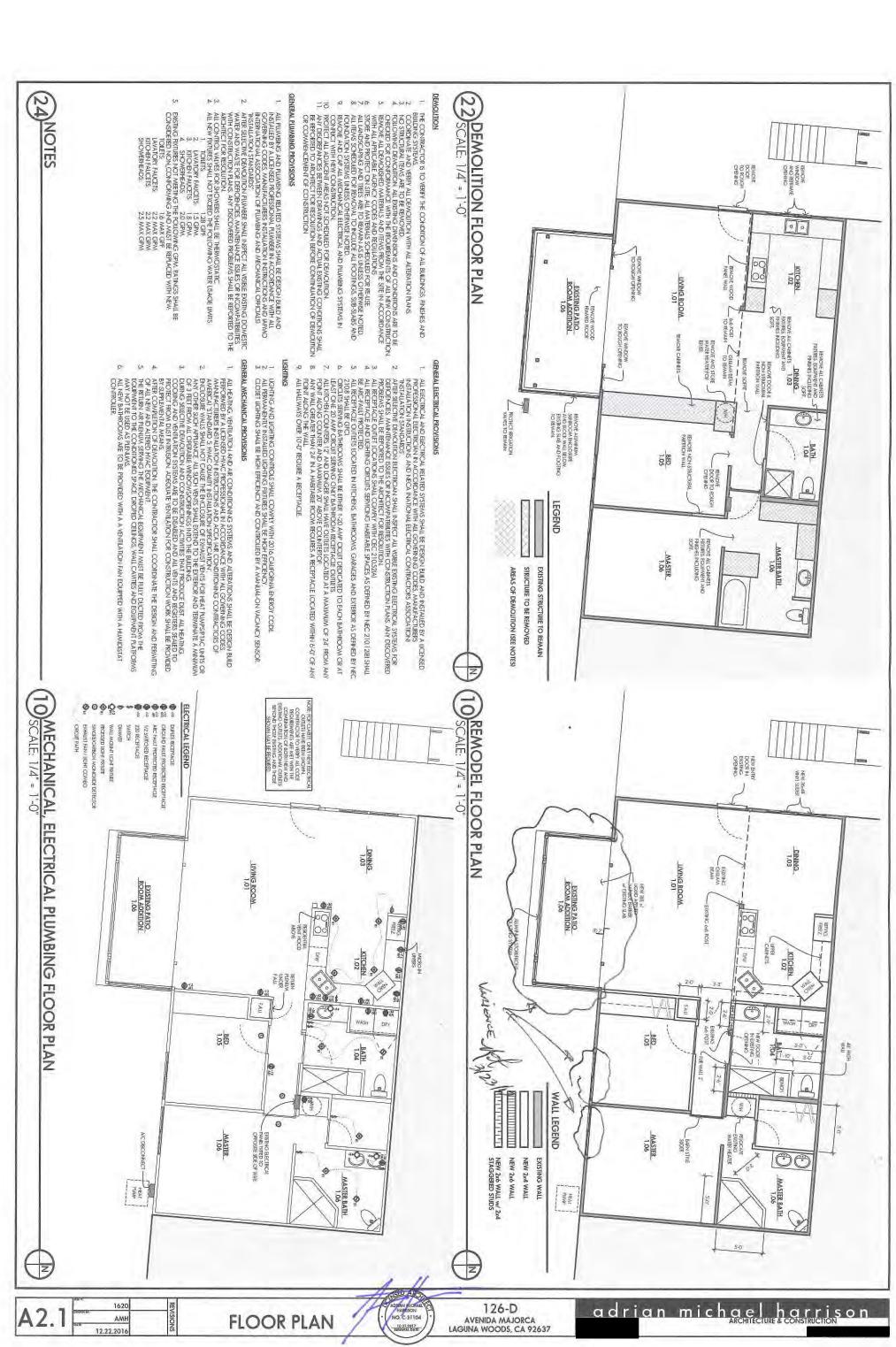
TITLE 24 MANDATORY MEASURES

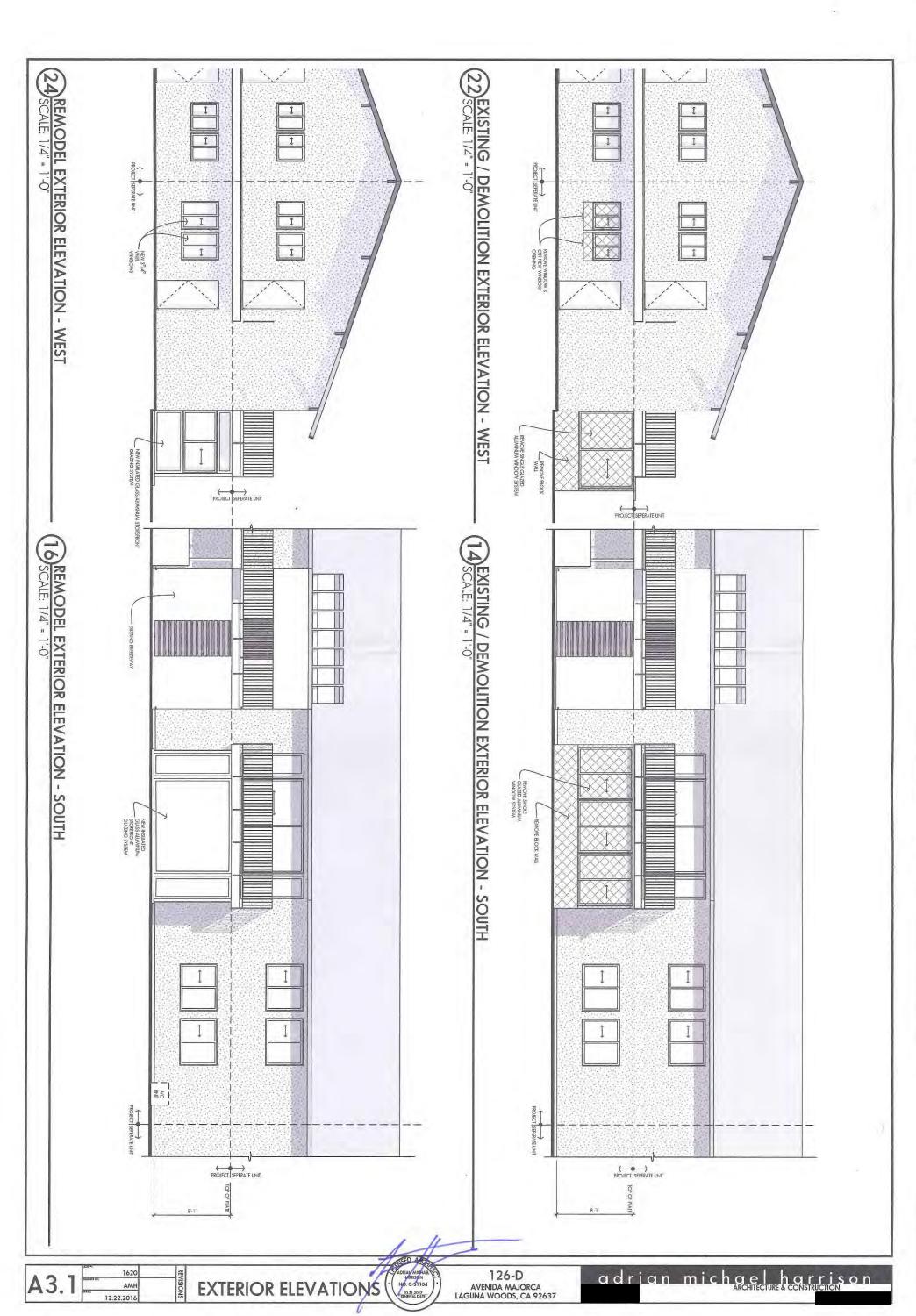


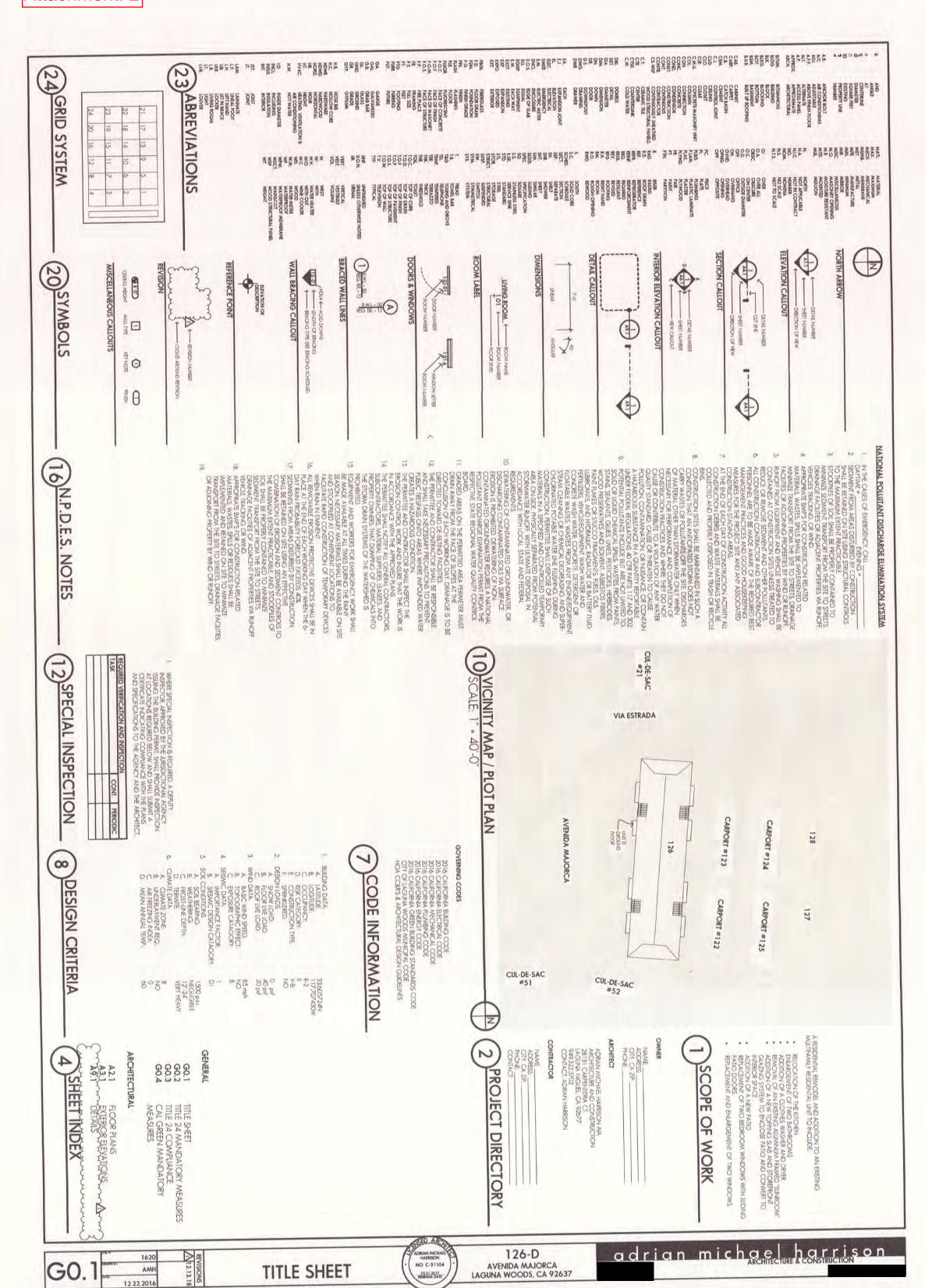
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Add Accidence and Construction Composition C. Responsable Proposition Composition C. Responsable Proposition Composition Composition Composition Composition Composition Responsable Proposition Responsable Proposition Responsable Proposition Composition Responsable Proposition Responsable	bibled Addid Teachins Area of the demandation of the State (Microsopia) (2.3) Proposed Ferentiation (Nasc Critical Annexes) (2.3) Regular Contemptation (Nasc Critical Annexes) (2.3) Regula	Private player Private
G0.3 AMH RIVE 12.22.2016	TITLE 24 COMPLIANCE COMPLIANC	adrian michael harrison ARCHITECTURE & CONSTRUCTION ARCHITECTURE & CONSTRUCTION

4.105.4.2.5 4.105.4.2.5 5.201.1	4.1064.2.2 4.1064.2.3 4.1064.2.3 continued	4.105.4.7 & 4.105.4.7 & 4.105.4.7 & 4.105.4.7 & 4.105.4.7 & 4.105.4.7 & 4.105.4.2.1	301.7.1 301.7.1 4.106.2 4.106.3	SECTION SECTION Applies to hotels from the section of the section
sufficient capacity to imiliarine and evidence of Evidence at full state of the process at full related by process at full related and printing of the EVSE of the	the Ev dynamic and the California Building Gode, Chapter 1/A, to allow use of the Ev space that be located on an accessible profit of page 2. The Ev space that be located on an accessible profit of the building, as defined in the California Building Gode, Chapter 2. The Ev space that be located on an accessible profit of the building, as defined in the California Building Gode, Chapter 2. Ev phases shalt be designed to comply with the following: Ev paces shalt be designed to comply with the following: Ev paces shalt be designed to comply with the following: The minimum sight of each Ev spaces, but not less than 1, shall also have an 8-foot wide minimum side that the profit of the Ev spaces is 12 feet. 2. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum side shall be permitted provided the minimum width of the EV spaces is 12 feet. 3. Surface also for this EV space and asiet shall not exceed 1 unit vertical in 48 units horizontal (2,033% sloop) in any direction. 48 units horizontal (2,033% sloop) in any direction. 49 surface also accessed to the profit of the EV spaces. The necessay shall not be less than trade size 1 (nominal 1-noth inside into a lided cabinet, box or enclosure in doas proximity to the proposed location of the EV spaces. The service panel and/or subprinel shall provide capacity to insall a 40-amperer minimum declased barriors to crust and spaces (2) reserved to permit instillation of a burnach direction of plant and shall inclinate incovery termination point and continue to the stall inclinate incovery termination focurments shall inclinate incovery termination point and provide and benefit in the calculations to verify a benefit and stands a barrior allowed by the proposed to continue the stall inclinate incovery termination point and continue to the provide and the provide and southern the verification of countern to shall inclinate incovery termination point and countern to shall inclinate incovery termination point as possible to the provide	8. Racoway shall originate at the main service or subparel and terminate into a listed of a cabinet, too or other enclosure in close proximity to the proposed location of an EV changer. 9. Racoways are required to be continuous at enclosed, inaccessible or conceased areas and spaces. 9. Service panel enable subpared shall provide capacity to intail a 40-ampere minimum declicated branch circuit and space(s) reserved to permit institiation of a branch circuit overcurrent protective device. Service panel or subparel circuit is branch or cuit in control to the control of the control protective device. Service panel or subparel circuit is directory shall identify the eventourient protective device. Service panel or subparel circuit is directory shall identify the eventourient protective device space(s) reserved for future EV changing as EV cApAGLE. The reservey termination broatling shall be EV changing spaces (EV permitted and visibly marked as EV CAPAGLE. 1. Applies to building alters with 17 or more multifamily deveilings. 1. Applies to building alters with 17 or more multifamily deveilings. 1. Applies to building alters with 17 or more multifamily deveilings. 1. Applies to building alters with 17 or more multifamily deveilings. 1. Say of the local number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle changing spaces. (EV spaces shall be rounded up to the nearest whole number. 1. Applies to building alters with 17 or more multifamily deveilings are installed for use. 1. EV changing alters (EV spaces) localizations for use. 1. EV changing as are installed to demonstrate the project's capability to be constructed or swellable until EV observed as installed for use. 1. EV changing as are installed to a demonstrate the project's capability to be constructed or swellable until EV demonstrates in no requirement for EV spaces. At least 1 EV space shall be reclaided all certins on an accessible parking spaces meeting 1. When EV changers	Additions and alterations Applies to additions or alterations of residentials full drops where the addition or alteration or alteration and alteration increases the building's conditioned area volume, or size. Requirements only apply within the specific were of the addition or alteration. Note directs code uses to coid code Section 100.1 at seq., regarding replacement of non-compliant plumbing features. Note directs code uses to coid code Section 100.1 at seq., regarding replacement of non-compliant plumbing features. Storm water densities and retention during construction. Projects which disturb less than 1 sere of soll and are not part of a larger common plan of development shall invalues and retention and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water frow to be set to be written to be standard solving construction. Construction plans shall indicate how the site grading of drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not all shall he assisting drainage standard standard shallows which do not all shall he assisting drainage standard standard shallows which do not all shall be resulted in accordance with the Carlifornia Electrical Code, Article St25. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency; the three is no commercial power supply. Verification that meeting equirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowork-developer by more than 4500.00 per development of created to accordance with alterate of provide part of the standard damenter of the local damenter of the set of the meter increase with alterate of provide damenter of the set of the meter size of the damenter of the set of the provided damenter of the set of the set of the set of the damenter of the set of t	RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE REQUIREMENTS Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/monels.
Adhesives, sealants and caulits used on the project shall most the requirements of the following standards unless more stringent local or replonal air pollution or air quality management distria rules apply. 1. Adhesives, adhesive brotiding primers, adhesive primers, sealants, sealant primers, and caulits shall comply with local or reglonal air pollution control or air quality management district nutes where applicable, or ScAUAND Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2 as applicable. Such products shall also camply with Rule 1168 probibition on the use of certain bottle control under the control of the cont	4,410.2	4.408.2 S.	4,303.2 0 0.00 0.00 1,000 0.00 1,	Water conserving plumbing linkures and fittings: Plumbing fixtures and fittings shall comply with the following: 4,303.1,1 Water Closets: \$1.29 galflush: 4,303.1,2 Water Closets: \$1.29 galflush: 4,303.1,3 Single Showerheads: \$2.9 gam@ag and showerheads controlled by single wilve shall not exceed 2.0 gam @ 80 psi, white Showerheads: and showerheads controlled by single wilve shall not exceed 2.0 gam @ 80 psi, or only one shower subtest to the hoperation at a large of the showerheads and shall be showed and shall be showerd to the shall be shall
Carpet installed in the building infentor shall meet the resting and product requirements of 1 of the following. 1. Cancel and Rugu finetities's Green Label Plus Program 1. Capital and Rugu finetities's Green Label Plus Program 2. California Department of Public Health, 'Slandard Method for the Trading and Evaluation of Volutile Organic Chambers,' Version 1.1, February 2010 (also known as Specification of 1350) 3. NSF/ANSI 140 at the Gold tevel 4. Sol-A11 Carpet cushion installed in the building interior shall meet the requirements of the Eugent School of	Intestigate the continuent of	Each bathroom shall be meshanically waitlated and shall comply with the following: 1. Fans that he BEREGY STAR complaint and be ducied to terminate outside the billisting. 2. Unless functioning as a component of a whole bouse ventilation system, fine must be controlled by a functioning as a component of a whole bouse ventilation system, fine must be controlled by a funding control. 4.508.1 a) Humidity control is an interpret of the system of a maintain of adjustment between a feature or control shall be a separate component to the exhaust (an and is not required to be integral or built-in. Note: For CALGERS and the state of the controlled by a shall be about the shall be about the containing the following methods: 1. The heal foss and hear ignit is statishished according to ANSI/ACCA 1 Manual J 2011 (Residential Load Calculation), ASHAAE handbooks or chier equivalent design and was a sized according to ANSI/ACCA 1 Manual D 2014 (Residential Load Calculation) or other equivalent design software or methods. 2. Duct systems and seated according to ANSI/ACCA 1 Manual D 2014 (Residential Equipment selection) or other equivalent design software or methods. Select heading and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment selection) or other equivalent design software or methods. Exception: Use of alterniate design temperatures necessary to ensure the systems of alterniate design temperatures necessary to ensure the systems.	Concrete slab foundations or concrete sib-proported for sequined to have a vapor related by the California Building Code, Chapter 19, or the California Building Code, Shrinking as or caring state seased. For editional information, and the sease are caring state seased. For editional information, and the sease are caring state as enricing agency. 2. Other equivalent microtrace of water damage shall not be included the sease of the sease	for formulatehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CER 9120 et. seq.), as shown in Table 4,504.5. A.504.5 Documentation its equires per Section 4,504.5. Definition of Composite Wood Products: Composite wood products include heattwood phycod, particlescent, aid meeting and swood products for not include hardboard, shuckure [plywood, shuckure] panels, structural composite fumber, criented strand board gland dimber, prelabinizated wood holds, or finger-joined fumber, all as specified in CCR, Title 17, section 93120.1(a). Decumentation A.504.5.1 Verification of compisiones shall be provided as requested by the enforcing agency, and as required in Section 4,504.5.1
Root coadigus Robi precentative contrigut Boult precentative contrigut General Claims Claims Operques Specially primary available, and lund accontains The first and According to accompany Versal previous transport and available provided by the first accompany accompany Total previous and according to accompany According provided by a special provided by the collectual Act Insonance at Search Activities and Containg Seagured Contains Total and Note primary Mactions of Provided Search Institute and Activities and Containg Seagured Contains Activate in the first accordinate activate and activate and activate and activate and activate activate activate and activate activate and activate activate activate activate activate and activate activa	### ### ### #### #####################	Auchienchards 250 Auchienchards 250 Marine Dreich 700 Marine Dreich 700 Auchienchards 250 Roudstage 700 Storijk-Try Read Montestane 500 Oblas 500 Storijk-Try Read Montestane 500 Oblas 500 Nord Parine 100 Auchienchards 700 Auchienchards 700 Auchienchards 700 Auchienchards 700 Marine Disch 700 Marine Disch 700 Marine Disch 700 Marine Disch 700 Marine Montestane 700 Montestane 70	one lead to the state of the authorizer with the highest probable to the surrounce (specified in the highest probable to the surrounce of the state	(Less Water and Less Elempt Compounds in Grams per Liter) Nober Charpet Adminions Outper Prod Adminions Outper Prod Adminions Outper Charpet Charp
	ADMINISTRATION OF THE PROPERTY		drian michaelhai	







\$ 150.00kls	8105	§ 110.3 c ?	§ (10.30%	\$19200	§ 110.2(b)	第1902時	\$1904193	Space Conditio	§ 150.0(4)Z	§ 150,0(e)10:	\$ 150.0(e)1B	9.150.0(e)1.K	Fireplaces, Decora	\$150.0kg	§ (50.0g/2:	\$ 150.0(1)	§ 150.0(t):	§ 150.0(d):	150 a(c)	1150.0E)	9 150 day	- Devit 8	§ 110.8():	- IB(# 011 §	34(B.011)	1107.	110.604	100,6(4)5:	- Calebrane
Suiding Cooling and Helling Leater, revery groups county was a suitness of Volume, Applications Volume, and Fundamentals Volume, SIAACIA Residential Constant Valence I using design conditions goodled in § 150.0/h/2	Plot Lights. Continuously burning piet lights are professor or entain gast, anniper services among without an elevatival entain the second without an elevatival entain y voltage connection with piet lights that company where the entain the entain the entain entain the entain	isolation Valves, instance woods and feature area of water leading systems to allow for or other filtings on both cold saler and not water lead of water heating systems to allow for	ng Rectrost	polyack federacial.	acci reast rampa seu oppresenta y se controle tel present applementary i seutre operation imperators for compression heating is higher than the co controlled in higher than the color than the controlled than the color of controlled than the color of controlled	HVAC Efficiency: Equipment must meet the approache enciency requirement or incom-	Certification, Heating, Vertilation and or consumularly (in appliences must be certified by the manufacturer to the En	d Plumbing System Max	Figit Light, Continuous buring proxigos and as use or nows as no sowny's waven po- the building, an probbind	Five Damper, Mesonly or factory-built freplaces must have a fire damper with a reliany and	and it equipped with a readily excessible, operable, and typi-filling damper or combustion-s	Closable Doors, Masonry or tectory-built insplaces must have a constraint or gass and		ge U-factor of all fensetration must not	Vapor Relateder. In Circuito 20045 (4 and 10, a cueso (a) cueso (a) cueso (a) cueso (a) cueso (a) cueso (a) cuesta (a) cu	requirement also applies to controlled verifiation crass space for buildings complying with the	sable being inclusions, sout rujus executions under consucce no greater from 2.0 permitted, being, no greater from 0.3% here a waller rujus permanent no greater from 2.0 permitted, being no greater from 0.3% here is entitled as part of a hosted data from consuction and a recommendation of admirturations and, when idealized as part of a hosted data from consumer name to the consumer of the co	Ruleyd-Sport Insulation. Minimum R-19 insulation in reset along terraculous of user many	Regil Impulsion. Manitum R-13 resussors in Lee and wood reaming was a week of word longs. Opaque not friend expericities must have an overall expericity. U factor not exceeding wood framed expericity.	Locas-Sil Hautadon, Locas Sil resultion must make the instruments of return of an instrument was any an	CHANG AND HARM FORCE HARMAN. MARKAN THE AND BY A REPORT OF A BENEFIC A AREA OF LIMITATION AND SECURITION AND SE	Radiant Berder, A radiant ben'er must have an emiliance of 0.00 of 100 and 200 or interaction	Roding Products soar Americance and Johnson the installation of a cool roof is specificated must must make the requirements of § 110.8() when the installation of a cool roof is specificated.	Insulation Requirements for Heated State Floors, Heated slab floors must be inflamed part	1 18	At Liadge, N Joint, bestroom, and one dyears in an union yourself consider shipped.	Field habitcased subserior opens and tensor produce may use or review in the Sa and 1105-S for compliance and must be cautied and/or seethershipped.	nuet have a la	NERCADO OF ASTRA EZOS OF AMERICANAMAN TARROCTURA CONTRACTOR CONTRA

2016 Low-Rise Residential Mandatory Measures Summary

2.A through TABLE 110.24."

Although TABLE 110.24."

Iffe applementary electric resistance feelings in the feeling above, and in which the entiry feeding, and the cut-off temporalize for entiry feeding, and the cut-off temporalize for 102 or less (R-19 in 2x8 or U-factor of 0.024 or 102, equivalent to an installed value of R-13 in 1 when that inchoor air is vernled to the cultiside of don loops working multiple deating units must also loops working multiple deating units must

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present to a future solar electric installation. The reperied space must be positioned at the apposite joudy and from the input teader occasion or main princial occasion, and permanenally marked as for Future Solar Bactic'.	Main Electrical Service Partel. The main electrical service partel mad have a reserved quick to allow for the installation of a double pole circuit	110,10(d) must be provided to the coccupied.	Interproduction Prilategia. To communate construction was some and the electrical period (for angle lams) institutional to gothe of manager conduct from the electrical period (for angle lams) institutional to gothe of interproduction with the electrical period and the season period (electrical period) and the season period (electrical period) and the electrical period (electrical period) and the electrical period (electrical period) and the electrical period (electrical period).	Structural Design Loads on Constituction Documents. For gross of the mod designation as soon zone, was as award very more or one dead must be cheef indicated on the construction to construction for the cheef must be cheef indicated on the construction to construction by the cheef must be cheefed and a patiently for	Standing. Any controlled control of the root of any come pass or assuming was project according any of the controlled projection of designed, measured in the forecoming passes, of the height difference between the highest point of the controlled projection of the controlled pr	Stading. The solar zone must not contain any consucrature, survivally we have made as not zone must be broated at least latter the required equipment.	Chientadon, All sectors of the solar zone booked on steep-stoped room must be drawned channels and province on a chienter and root	imminum, And in a cost continue as a special in 16s 24, Peri for other Parts of the 34 or in an paperment adopted by a local in adopted, a cost production, and special in 16s 24, Peri for other Parts of the 34 or in an experiment and parts of superment of parts of the special in 16s agreement and parts of the special in 16s agreement and parts of the special in 16s agreement and 16s agreement and the special in 16s agreement and the 16s agreement and 16s agreement	Low-Year Music Stately Buildings, Low-tier Transactive Contract International Prints and the Color Street Contract Visit Scotter, Johnson, Strate	Single Family Rasidences. Single Tenis; residences located a subdistrors with ten or more single stelly residences and others the Single Family Rasidences. Single Tenis; residences located as basic depress to graphes by the settlement appear, must comply with the application for a leastfulke subdistror map. Or the motionous teal beautiful complying by the settlement appear, must comply with the requirements of 4 (10.10%) broads 3 (10.00%).	instance Common Augus of Low-des Bibli-Perally Residented Biodologie, in Device Installating Francisco counts by we are common and in a conjugate of the Additional Common and in a conjugate device grant and the property of the Section Residence o	leader Common Arque et Lea-Yeab Million-timmy manuscular common et a common de glabag for the interfor common inves in that common eas a single building equal by Operated or that of the four area, permanenty) establish glabag for the interfor common inves in that common easy a single building experience and common easy to be compared service.	Residential Ganges for Eight of express up to 100,000 t	emaily alluminad accretions by the 100 Med. By an elementary of the 100 M	estables per six must comply with the applicable regularizable to \$8,170.9, (30.0, (30.2, (30.4, (30.7) and (41.0)). The applicable per six must comply with the applicable regularizable to \$8,170.9, (30.0, (30.2, (30.4, (30.7) and (41.0))).	Regulated Cutation Updates, for certain recommendation of the properties in 64 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. 150.00(18 or \$ 150.00(13) must country with the application regulated in 164 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0. 150.00(18 or \$ 150.00(13) must country with the application region of the political properties with a bolid of eight or more	Enclarated Couldon's Lighting, for the-rest malated private country, owner where or some private the most country with and porture, and cottom righting for the character priving from protectional copporate that the fine and private relationship compared with the fine and private relationship country with the first 150, 150, 150, 150, 150, 150, 150, 150,	production and spic concess year or grant production for success and the programmatic in wither learn terms; \$150,000,000 (pixel or and of the patient) control, set occurried to the §150,000,004 (pixels control and automatic time seation control, set occurried to the §150,000,004 (pixels control and automatic setting control and setting control	inspitor Switches and Controls. 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Air Lapings, Manshedundi kenditridica, arthrid doors, and sharing pel doors must land air belangs to 5.3 chrill? or least what Matthe (Por 1970-2017).

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Labeling Frenenzion producti must have a label onceing the neglements of § 16-11(6).

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110 5-4 and 110 5-5 for compliance and must be created entire matter adopted.

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2016 Low-Rise Residential Mandatory Measures Summary

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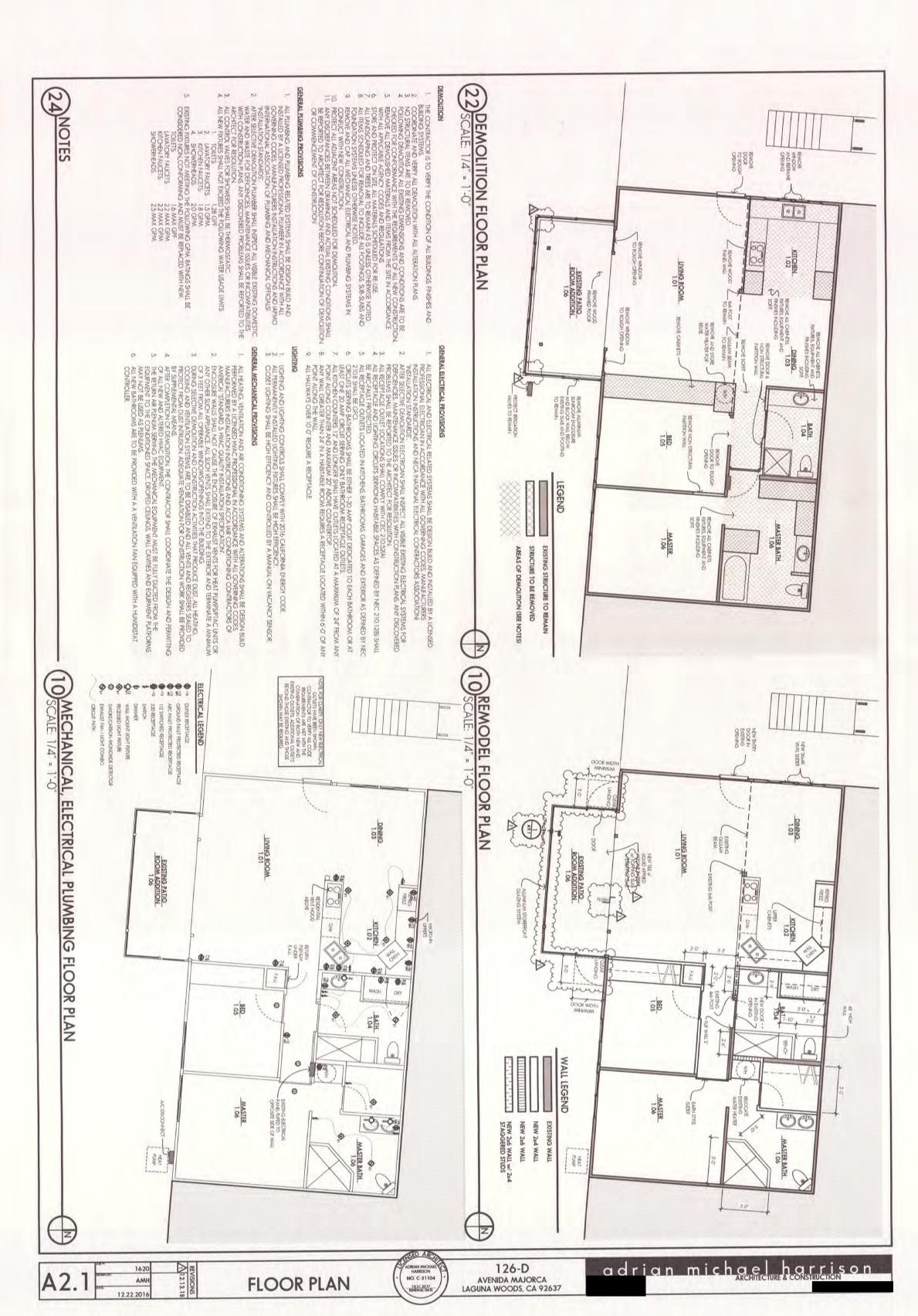
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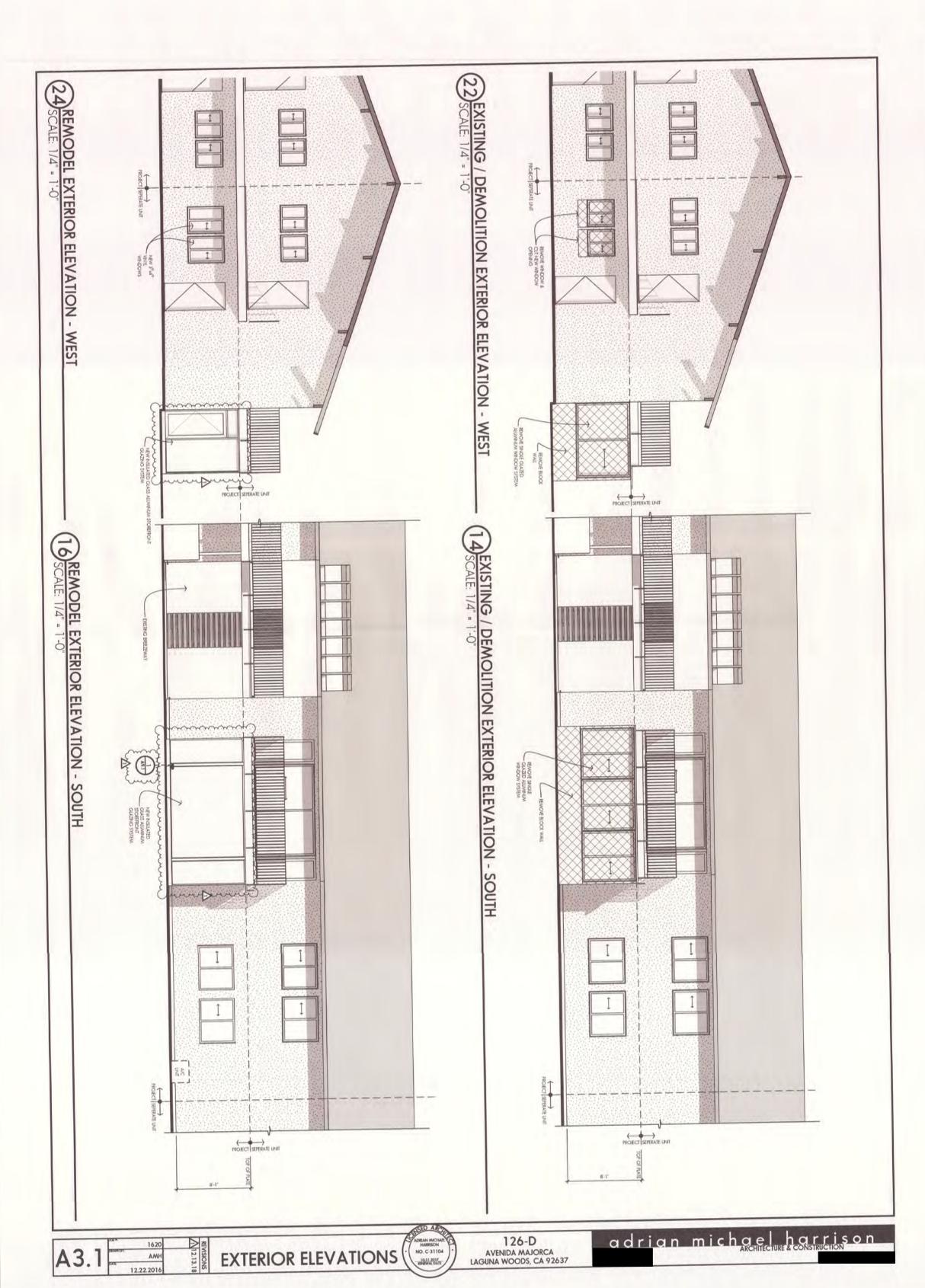


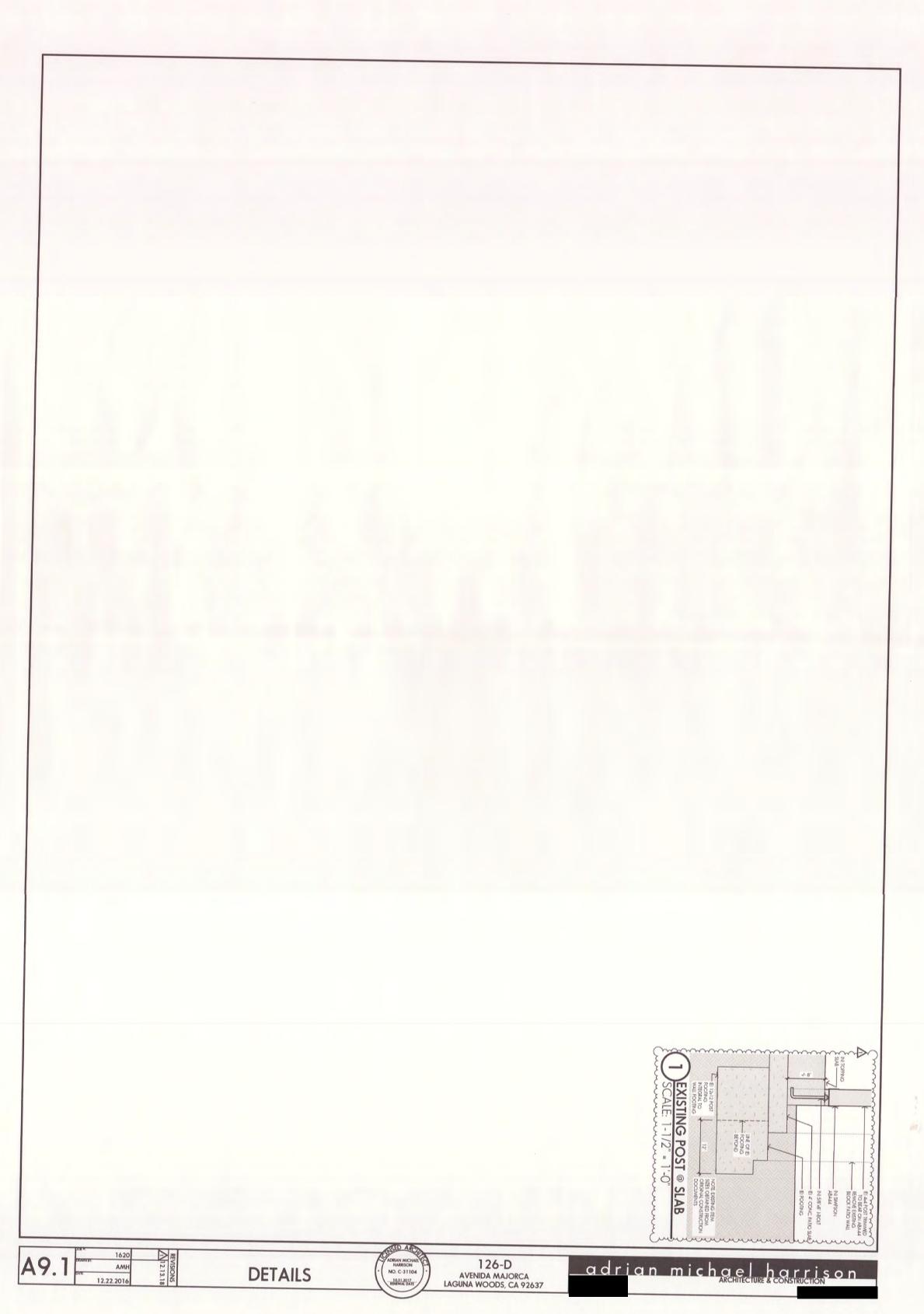
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				Prescription & Read-deptidal Alternations That Do Not Require HERS Field Verification CSTINUATION CSTINUATI
For assistance of questions regarding the chergy pathodray, conserv one chergy moving an above it is seen. On auding longs traducts - 2016 residential Compliance. April 2016.	To the set complete. Consequence have separate	Call States Control of Contro	Prescriptive Residential Alterations That Do Not Require HERS Field Verification CERTIFICATE OF COMPUNES Net Addet Feature Date of the verification Net Addet Feature Date of the section of the Secti	Prescriptive Residential Alternations That Do Not Require HERS Field Verification Comment

	4.201.1 4. 5.201.1	Division 4.2.3	4.108.4.2.5	4.106.42.4	4.106.4.2.3 continued	4.198.4.2.3	4.105.4.2.2		4.106.4.2.1	4.106.4.2	4,106,4.1 & 4.106,4.1.1 continued	4.108.4.1 & 6.108.4.1.1		ragr.		301.2	11.106	SECTION SPAN	DAIS
	Energy efficiency requirements for low-fits residential (Section 4.201.1) and high- rise residential/hostis motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Sundards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2015 California Energy Code.	A Directives Number 12-01. Whetale: https://www.doi.or.gov/hotraffocis/policy/13-01.pdf Z See Verbie Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces. The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses. Website: Titul/Your calabov/dois/2EV/Guidebook pdf **BANANCY EFFICIES** **BANANCY EFFIC	The service panel or subpanel croix directory shall be terrify the overcurrent protective device space(s) reserved for fature EV charging purposes as "EV CAPABLE" in accordance with the California Ebedinal Code. Notes: Notes: The California Department of Transportation adopts and publishes the "California". The California Department of Transportation adopts and publishes the "California" Manual on Uniform Tatific Control Devices (California MUTCO)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Stones and Payement Markings can be found in the New Photoes.	Construction documents shall indicate receively terministion point and proposed tocation of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, resource present shall also provide information on amperage of future EVSE, resource present service capacity and electrical system, including any on-site distribution transformer(s), have selectrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge at EVs at inequired EV spaces at full trated emperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Plan design shall be based upon a 40-ampere minimum branch circuit. Inaccessible of in conceiled arress and spaces shall be installed at the time of original construction.	 Construction documents shall identify the naceway fermination point. The service panel anxiety subpanel shall provide capacity to install a 40-ampeire minimum declosed chanch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. 	 Install listed raceway capable of accommodating a 208/240-volt dedicated branch olicult. The raceway shall not be less than used size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. 	EV spaces shall be everywhere to comply with the following. 1. The minimum length of each EV space shall be 18 feet. 2. The minimum with of each EV space shall be 18 feet. 3. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aidse. A 5-foot wide minimum aidse, A 5-foot wide minimum aidse shall be permitted provided the minimum width of the EV space is 12 feet. a) Surface slope for this EV space and aids shall not exceed 1 unit vertical in 48 units horizontal (2,033% slope) in any direction.	the requirements of the California Building Code, Chapter 11A, to allow use of the EV charget from the accessible parking space. The EV space shall be founded on an accessible mode to the building, as defined in the California Building Code, Chapter 2:	 Construction documents shall indicate the location of proposed EV spaces. At least, I EV spaces shall be located in common use areas and available for use by all residents. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2. The EV space shall be located adjacent to an accessible parking space meeting 1. The EV spaces shall be located adjacent. 	sine size. 3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces. (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounted up to the nearest whole number. So the number of EV spaces shall be rounted up to the nearest whole number. Moder. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charges are installed for use.	Internation becomes district ratios and specify reserved to permit extension or branch circuit enclosured in the Service partie of extiplerate idiosal directory shall identify the overcounted protective device specify reserved for future EV chapting as EV CAPABLE. The receivanty termination location shall be permanently and visibly marked as "EV CAPABLE." EV chaptings for multilaterily developed on the EV chapting for multilaterily developed units constructed on Applies to building sizes with 17 or more multilaterily developed.	pinate a er end to uirad to or sub	Verification that madesign requirement homeowneddevelor branching: 1- 6-2-4a. Vehanging: 1- 6-2-4a. Vehan	Comply with Section 4.106.4. and 4.106.4.2 for future statisticion and use of EV changers. Electric vehicle supply equipment (EVSE) and be installed in accordance with the California Electrical Code, Anticle 523. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency. Mahera Haves is no commencial coder supply.	inage storm water drainage during or Gredling and paving indicate how the sile grading or drain to keep water from entering buildings. Took after the existing drainage pain. website IEVs obstanting for new cook website IEVs obstanting for new cook	repasement of non-compant partners buildings Low-rise and high-rise buildings Banners identify provisions applying to fow-rise only [LR] or high-rise only [LR]. Banners identify provisions applying to fow-rise only [LR] or high-rise only [LR]. Storm water drainings and revision during construction Projects which disturb less than 1 acre of soil and are not part of a larger common plan.	Add Merado Methological Withing O Civ	RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE REQUIREMENTS REQUIREMENTS Scope	
	F	4.504.2.2	4.504	4.504.1	Division	4.503.1	4.410.2	4.410.1	4.406.4.1 Drasson 4.4	4,408.3	4,400.2	4.408.1	ICONSTRU	4.406.1	Devesion	Division 4	4.302.2	4.303.1	Berison 4
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	Culture to laborate and a social section of the sec	Paints and co- Architectural paints and costings stall comply in Resources Board Architectural Suggested County Resources Board Architectural Suggested County 4,504.3, unless more stringent local limits apply The VCC content first for costings that do not in costings castripriors tested in Table 4,504.3 in Table 4,504.3 county costing as Fall, Nortile, or Nortile-High Gloss or in subsections 4,21,4,36, and 4,37 of the 2007 Suggested Control Measure, and the correspon	with Rule 1189 prohabilion form, ethylene dichloride, m pethylene), except for aeros acthesives, and smaller un ardiesives, and smaller mrds (in units of product, lee d and do not consist of mon de VOC standards and othe toxic compounds, of the Ca moning with Section 94507.	siarby of the heating, cooling and vennieurity an initiate and distribution component openings are sheethead or other methods acceptable to the extending the systems of water, dist and obtis entaining the systems of water, distributions and caults used on the profollowing standards unless more stringent local following standards unless more stringent local management district rules apply. 1. Adhesives, adhesive bonding primers, adhesing and caults used comply with local or regions and caults state comply with 50 all or regions and caults state comply with 4504.2 as 1904.	SYTAL CLASSIVE COLUMN PROCESSI Protection of pugh installation, during	AVISIONALE INFALLULATION I ERRELACIOSI White in the state of the stat	Recycling by our process of the service of the serv	Operation at the control of final inspection, a manual coeptable to the enforcing age	requirement in Section 4 408.1. Projects thet generate a total combined weight waste disposed in landfills, which do not soot building area, shall meet the minimum 55% or requirement in Section 4 408.1.	ste management company, approve table documentation that directed and the commentation that directed where the requirements in Section 4.4 Waste stream reduce jects that generate a total combine spoded in lauditis, which do not aw area shall meet the minimum 65% area shall meet the minimum 65% area shall meet the minimum 65% or area shall meet the minimum 65% or area shall meet the minimum 65% or area.	when isolated jobies are located in an diversion facility. Construction wasts ubmit a construction waste management pla section 4,408.2. Plans shall be updated as a samination during construction.	Documentation is required per Section 4.408. Exceptions: 1. Exceptions: 2. Alternative waste reduction methods testing obtys. 2. Alternative waste reduction methods feelings or agencies if diversion or recycle facilities or and cust or are not located reasonably do not cust or are not located reasonably do. 3. The embraning agency may make exception.	WWASTER REQUIRING MISSOS 44 8 Construction waste Recycle and/or salvage for reuse a m construction and demolition waste in 4.408.3 or 4.408.4; OR meet a more waste management ordinance.	Annular spaces around pipes, electric paid Annular spaces around pipes, electric cables, o cycle-bothom plates at exterior walls shall be do masonin or a similar method acceptable to the rodents.	Water Resources' Model Water Efficiency or whichever is more stringed, or 2. Projects with appreparate landscape at with the MWELO's Appendix D Presource of the MWELO's Appen	minking Code. SIEKOL ZAMI PORKSERVA Outdoor potable was ber 1, 2015, new residentia or greater then 500 squan star efficient landscape ordi	4.303.1.4.3 Meriting Faucetts: \$1.25 gains by 4.303.1.4.3 Meriting Faucetts: \$1.25 gains gains 4.303.1.4.4 Kilchen Faucetts: \$1.3 gam gains 4.303.1.4.4 Kilchen Faucetts: \$1.3 gam gains 4.303.1.4.4 Kilchen Faucetts: \$1.3 gam gains 4.303.1.4 kilchen faucetts: \$1.3 gam gains 4.303.1.4 kilchen faucetts: \$1.3 gam gains 4.3 gam gam gains 4.3	28 gailing	Water conserving plu
	appy	its and coatings to comply with VOC limits said Control Measure, as said Control Measure, as mits apply, and meet the definition of the control of the 2007 California Air I the 2007 California Air I corresponding Flat, Non	4 4 E 2 2 2 2 2 2	교 의 교 의 교 의 의 의 의 의 의 의 의 의 의 의 의	0 0 0 3	5 85 W Se	coupa onstru ps on t ous m s, plass nos, if apply et sec	n and maintenence munel, compect disc, we gency which covers 10	ned weight of const o not exceed 2 pour um 65% construction	00000000000	d in areas beyond to waste management ent plan meeting ito d as necessary and	on 4.408.5. debris. nods developed by wacalities capable of anaby close to the jump of the proceptions to the next of the next	stringe	m 42 14 19 m	ent Landscape eas less than i riptive Complia notal against	Included the control of the control	gallons per cycle gallons per cycle m @ 60 pst, temporary o 1.8 gpm o 1.8 gpm stalled in accordance w stalled in accordance w	d Sow Macdina	mountaines and fittings by with the following:
		id coatings gry with VOS limits in Table 1 of the Air Control Measure, as shown in Table poply. In old meet the definitions for the specially shall be determined by descriping the tosts coating, based on its gloss, as defining 2007 Coatfernia Air Resources Board, sponding Flat, Nortflat, or Nortflat-High	of destain book compounds horide, perchloroségiene and sa spocified in Subsection 2 below. professions, and sealant or cauting ng, which do not weigh more than but ounces!) shall comply with sents, snauking prohibitions on use of de of Regulations (CCR), Title 17,	julpment, all duct and order relation are featorizing agency to reduce the amount ary be used. s and caulities yield shall meet the requirements of the price shall meet the requirements of the price shall meet the requirements of the price shall be requirements of the or regional air pollution or air quality she pollution control or air quality or SCACAND Rule 1168 VOC limits, as cable. Such products shall also.	on struction site and u	ied-combustion type. Any IU.S. EPA New Source applicable, and shall have a time entire the entire translation firms. Woods	occupants onstructed on a building site, provide ps on the site and is identified for the loss materials for exporting, including s, pleasite, organic weste, and metals note, if more restrictive. et seq, are not required to comply et seq, are not required to comply	nence manual (disc, web-based reference or oth covers 10 specific subject areas s	ght of construction and demostion creed 2 pounds per square foot of the construction waste reduction	In company of by the enforcing agency, which can natiuction and demoition waste 8.1. See a see on the see a se	is beyond the hauf boundaries of anagement plan meeting items 1 through 5 in assary and shall be available for	08.5. weiched by working with local enflorcing seeksped by working with local enflorcing scapible of compliance with this item do coose to the jobosite. coose to the requirements of this section priors to the requirements of this section.	(GLWG) flow of at least 65% flow of at least 65% flow of the nunhazardous ance with either Section 4.408 2, at local construction and demosition	ing or other openings in ad with cement mortal, concrete inforcing agency to prevent passage of	ape Ordinance (MWELO), an 2500 square feet may or npliance Option.	10 0 m 15 E	rary increase to 2.2 gpm fittings. se with the California moed in Table 1701.1 of th	Musch: all other unitals: \$0.5 galfflush \$0.50 galfflush \$0.50 galfflush \$0.50 galfflush flow rate of all showerheads commotive. 2.00 gpm @ 80 psi, or only one shower elements. The work of the shower of the showe	d fittings
	L	ne Air sie scially g the s defined and,	nds ve and tion 2 below. v caulting nore than y with nas on use of). Title 17,	e amount e amount nts of the quality t primers, alty limits, as	off final	a adsloves.	provide for the cluding i metals ablic	or other	of the	oh can sie molition it of the	or of the	flording : item do	§ 2	assage of	yello	scape wing: nent of	gpm t of the	Minush introlled shower shower	
9,000	4.504.5	4.504.4	4.504.1.1	4.504.2.3		702.2	702.1	CHAPTER 7-1		4.507.2	4.506.1		0037	4.505.3	0 3 80 6	4.505.21 A	4.505.2 R	4.504.5.1 V	4 504 5
products used on the interior	Châtren & Schools Program) Certification under the Resident Floor Covering institute (RFCI) FloorScore program A Meet the California Cepaciment of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1-1, February 2010 (also known as Specification 01359) Composite wood products Hardwood phywood, participhosale wood products	E STANDERS	Specification 0/150) 3. NSFIANCS 1 40 at the Gold level 4. Scientific Certifications Systems indoor Adv Carpet cus Carpet cushion installed in the building intenter Carpet and Rug institute's Green Label Plus P Carpet adhesives shall maet the requirements	Section 94522(a)(2) and other re- tracts compounds and occare lega- time CCR. Title 17, commencing a of the Bay Area Afr Quality Mana- percent VOC by weight of produc- carpet installed in the building in of 1 of the following: 1. Carpet and Rug Institute's Gra- 2. California Department of Public E-witustion of Vestile Organia	100	Special Special inspectors must be qualified and a enforcing agency in the discipline in which be provided and a person of the discipline in which boots are appeared in child documents planes, specifications, builder of other methods acceptable to the local entitled of other methods acceptable to the local entitled.	systems and equipment by a recognize Examples of exceptable HVAC training limited to the following: 1. State certified appreciates to 2. Public utility training programs. 3. Training programs sponsored by fits verification organizations. 4. Programs sponsored by menufactu. 5. Other programs acceptable to the e	NSTALLER & SPECIAL INSPEC DAS, VERIFICATIONS) HVAC system instalers shall be to		Healting and er conditioning syste- sected using the following syste- sected using the following mich 1. The heal loss and heat gain is 2011 Pleastential Load Calcula design software or methods.	a) Humdiny commons shall be a relative humdiny range of b) A humidiny control may be a required to be integral or bu Note: For CALGreen a "bathroom hubbishower combination. Fans or results and the second shall be seen a "bathroom hubbishower combination."	Each bethroom shall be mechanica 1. Fans shall be ENERGY STAR o 1. Unless functioning as a compon 2. Unless functioning as a compon be controlled by a furnitity cont	with documentation acceptable approval to enclose the well aw its resultan products which are visib replaced or allowed to dry prior to drying recommendations shall be andicisure.	Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall assistly requirements in Section 101 8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped and period be verified. At least 3 andom moisture readings shall be performed on wall and floor framing	A stab design specified by a licenser Molecure comb Building materials with visible signs of v floor framing shall not be enclosed whe content. Molecure content shall be well	apillary break shall b A 4-inch thick base o vapor retainder in dire address bleeding, sh see American Concri Other equivalent met	Wystownia III All of Jacom Con Con Concrete siab foundations or concrete earder by the California Building C code, Chapter 5, respectively, sha	Definition of Composite Whool Pro- hardwood physicod, participited and wood products of not include in shoutcard composite lumber, orien prehabicizate wood ljoists, or fing Section 93120,1(a).	for formaldehyde as specified in Measure for Composite Wood (1 Documentation is required per S
or extensor of the but	ram) seallent Fabor Covering Institu- seallent Fabor Covering Institu- seallent of Public Health, "Sia- e Organic Chemical Emission s," Version 1.1, February 20 Composite wood produc icleboard and medium densi	ent de la	shall shall or Ta	J cline; requirements, including cone depicting substances, in it menning with Section 4520; as menning with Section 4520; as many in Section 4520; as many in Section 4520; as of product limits of Regulation of product limits of Regulation Campet systems upday land and the product Campet Section 4220; and the section of Public Campet Chemical Emissions of Organic Chemical Emissions them; Version 1.1, February 9	sary to verify compliance are specified in appropriate Aerosol paints and coatings shall meet the Product-Weighted MiR Limits for ROC shall meet the Product-Weighted MiR Limits for ROC	Special inspection is the qualified and able to derive discipline in which they are implanted with a contraction of the contraction of the contraction of the contraction, built is not excitations, builder or installer o	training and certification to training and certification to programs. ms. ed by trade, labor or state anufacturing organizations to the enforcing agency.	TOR IQUALIFICATION TO THE PROPERTY OF THE PROP	other	air conditioning system designed, and a drist hall be sized, designed, and a drist hall be sized, designed, and a drist hall be sized, designed, and a coording to ANSIACO at Manual D 2 and to ANSIACO At Manual D 2	e di less than 50% to a man e di less than 50% to a made be a separate component to the bull-to- comi' is a room which contail or mechanical ventiletion is	ally ventilated and si compliant and be du nent of a whole hous book	to the enforcing age of floor framing. of floor framing. y wet or have a high endosure in wall or i bllowed for wet-appi	mined with either a p isture verification ma sty requirements in S in at a point 2 test to sings shall be perfor	prised design profess content of building s of water damage si when the framing m yerified in compliant	compliance wit larger clean ag h concreete ar hurring shall be hCI 302 2R-06 ed by the enfor	RISIS MOSTUNE crete slab foundati gle slab-on-ground f code, Chapter 19, or also comply with th Capillary break	duct and door door door en-jo	the Air Resources B 7 CCR 93120 et se ection 4.504.5.1.
iding shall meet the	stitute (RFCI) FloorSc Siandard Method for sistons from Indoor So 2010 (also known as ducts ensity fiberboard compensity fiberboard	area recelor public Hear panic Chemriston 1.1, Flow-Emittin High Performantly the	neriup	hands, including promotions on use or usual substances, in Section 9452(2)(1) and (f), (f) and (f) and find prints under the jurisdion District shall additionally comply with the soft Regulation 8, Rule 46. Park systems shall meet the testing and product requiremakel Plus Program basel Plus Program label Plus Program (fig. 1875). The program of the	are specified in app tings reighted MIR Limits	tal inspection d able to demonstrate competence tab they are inspecting. cumentation cumentation to not inspection, inspectic pro installer outflication, inspectic inforcing agency. Other specific de	programs include programs include wide energy cons	he proper installa	ording to ANSI/ACCA 3 Manual 5 - 2014 equivalent design software or methods. res necessary to ensure the systems	Isating and air conditioning system design isating and air conditioning system design foring methods. Their gain is established according to ANSI/ACCA 2 Manual J- had gain is established according to ANSI/ACCA 2 Manual J- Load Calculation, ASHRAE handbooks or other equivalent memods.	public of maximum of 2018. Septimin 50% to a maximum of 2018. Septimin 50% to a maximum of 2018. Len. Len. Septimin which contains a bathlus shower, or echanical ventilation is required in each bathroom	comply w to termin	mey provided at the the model of the firm of the model of	probe-type or a contact whods may be approvious and 101.8. 4 feet from the grade	materials hall not be installed. sembers exceed 19% ce with the following:	the at least 1 of the following: gyregate shall be provided with a nd a concrete mix design which will a used. For additional information, a ching agency.	downtout) ons floor, required to have a v r the California Residential is section.	wood products include sky filterhoust. "Composite i plywood, structural panets, glued laminated limber, all as specified in CCR, Tile 17 led by the enforcing agency.	Resources Board's Air Toxics Control R 93120 et. seq.), as shown in Table 4.504.5. 4.504.5.1.
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Attachment: 2

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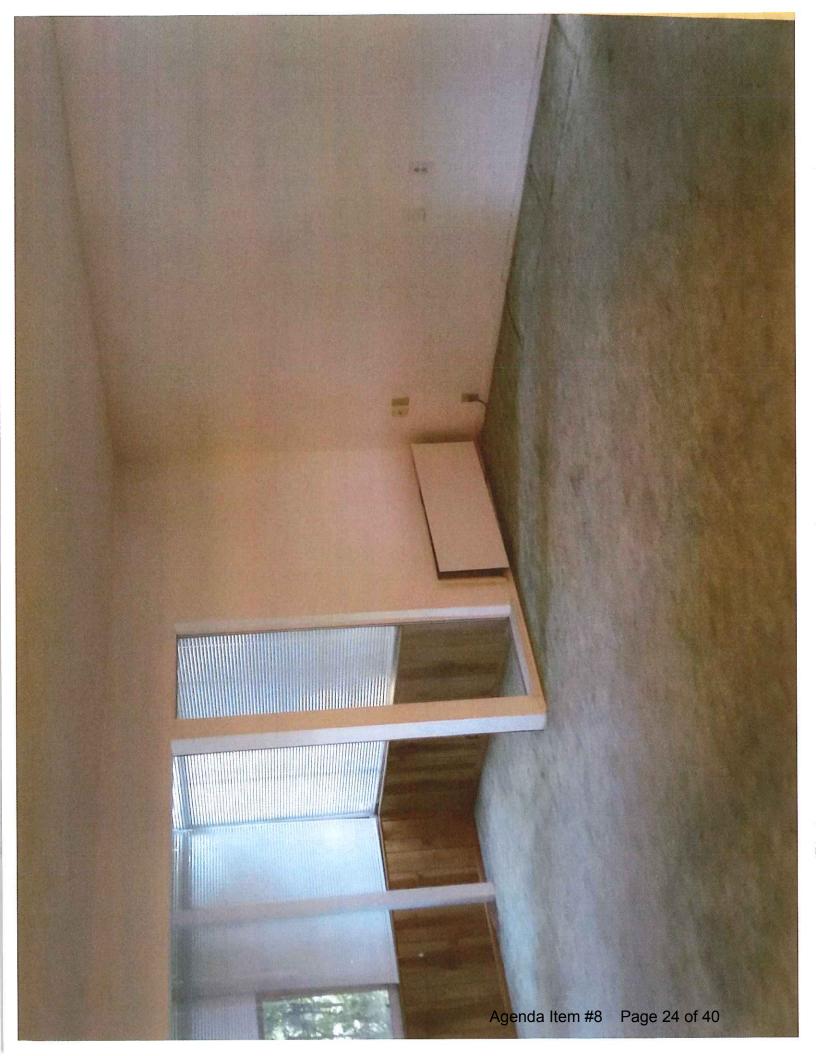
Varia	nce Request Forr	n sa
Model:	Plan:	Date: 12/17/19
Member Names Phone:	Signature	11-
Phone:	7 92	Tun
Contractor Name/Co:	Pho	
Description of Proposed Variance Request of Management of		s this Variance
MESOED TO IMPROVE MANO	L EMBIGORY	STRESS.
Dimensions of Proposed Variance Alte	rations ONLY:	
	FOR OFFICE USE ONLY ECEIVED: 12/17/18 CH	neck# 8647 BY: Roger Flim
Alteration Variance Request	Complete Submitta	al Cut Off Date: 12/17/18
Check Items Received: Drawing of Existing Floor Plan Drawing of Proposed Variance Dimensions of Proposed Variance Before and After Pictures Other:	Meetings Scheduled: Third AC&S Committee United AC&S Committee Board Meeting:	11.1.0

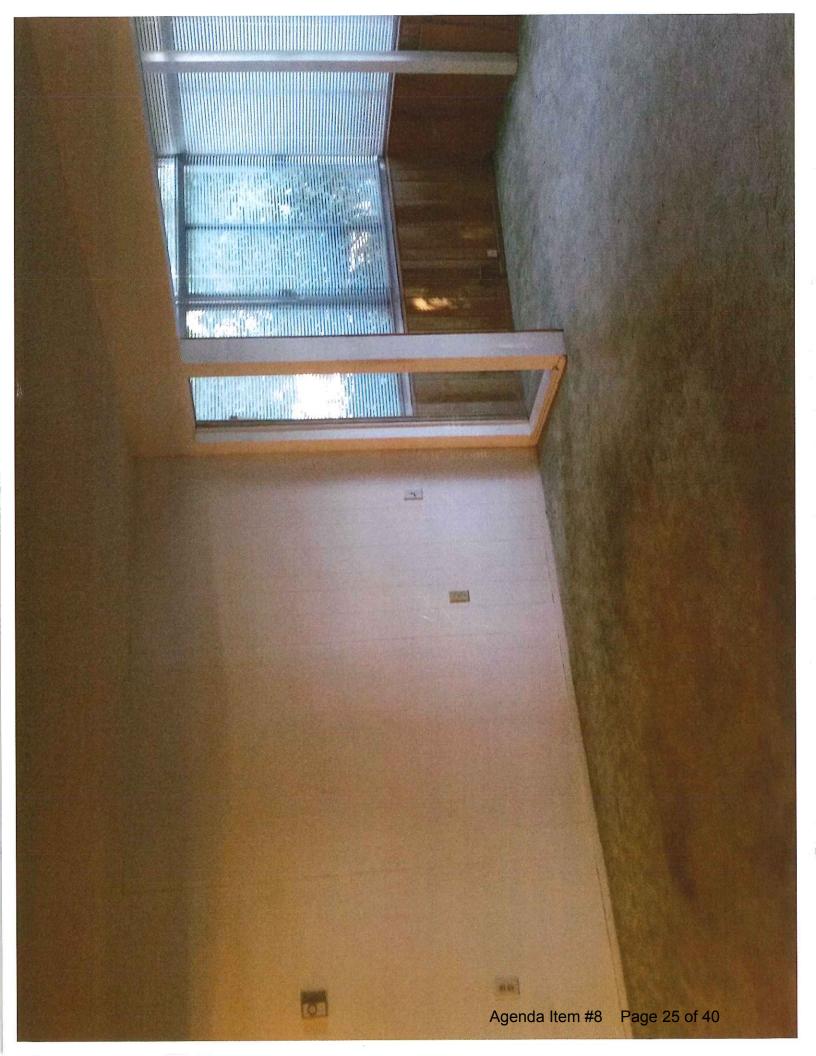
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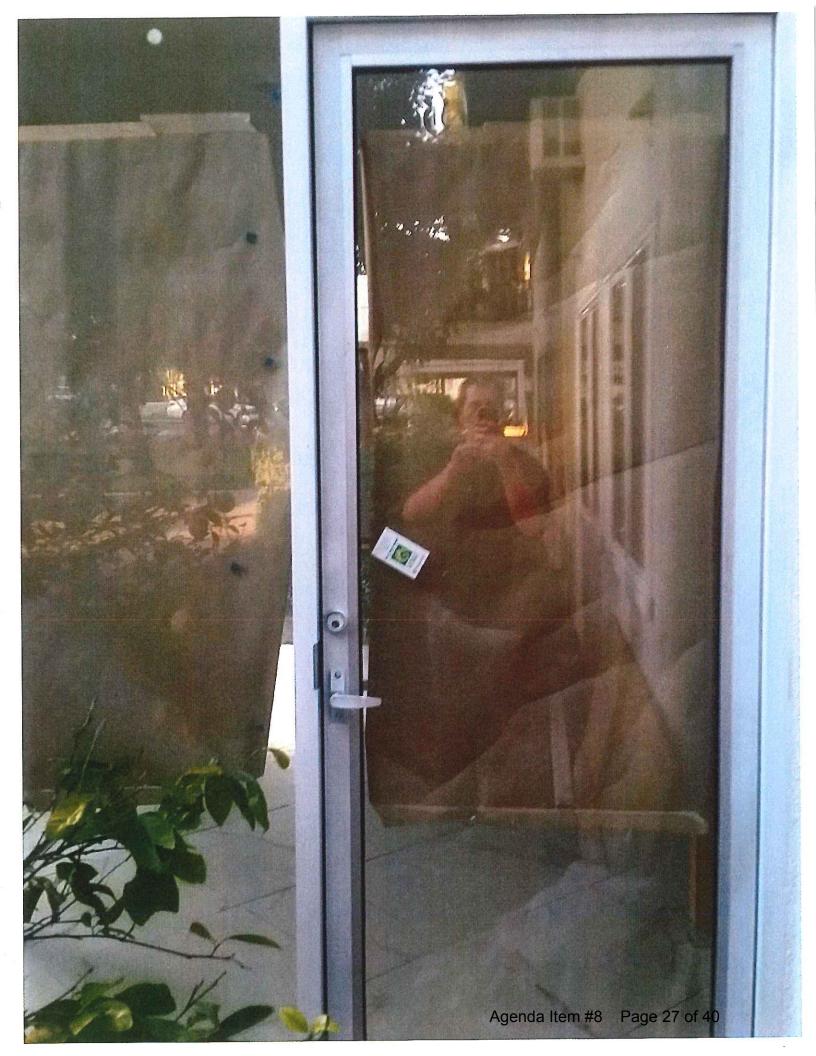
CLTY OF LAGUNA WOODS	Residential Addition	ion / Remodel	
BUILDING DIVISION	INSPECTION REQUEST: (949) 639-0500	: (949) 639-0500	
INSPECTION REQUEST: (949) 639-0500 **** Requests MUST be received prior to	ALL WORK SHALL BE INSTALLED per the 2013 GRC, CMC, CF	the 2013 CRC, CMC, CFC, CPC	
4 p.m. for next day inspection.	Building / Site Inspections	Date Inspector	1
Address: 126-D Are majorca	Rebestos Documenatation		
Description	ed) []	Underground Plumbing -10' Test []	Back PC Pc
of Work: Vermit to Install	UFER Ground in Footing	6" Sand Bed (No Rocks) Clean Backfill on Site	
(డ్రీ Sewer Lateral w/ Test [] Pre-Slab/ Underslab		
tatio enclosure het Mo	Track & ledger [] Windows (In Progress)	ogress) []	
*	Radiant Barrier [] Floor Nailing (Before Walls)	efore Walls) []	1
Steen	Roof Deck Nailing - All Roof Penetrations, Attic Vents, Bo	Attic Vents, Boundary Nailing	
Building ~	Exterior Shear & Hardware - Shear Transfers shall Extend to Floor/ Roof Diaphragm:	oor/ Roof Diaphragm: []	
Permit # 001	Combination Inspection these ltems are to be ready	The Roof & Exterior Walls need to be Weathertight and ALL of these Items are to be ready at the time of this Inspection	
Electrical:	Rough Framing - Per Plans Trusses per City	Stamped plan []	s
Plumbing:	s (Leave Labels On)		εW
	Rough Electrical (Per CEC) Cable W/I		eni1
	Groundi		əvo
Owner: CLUM	Rough		O 01
8	10i		rior
Contractor: 12 Houseaco Katolue	~		d
Issue Type of	insulation Baffle for Eave Vents [] Insulation Installed per Title 24		
Date: Order Construction Ors	💆 🖁 Fire Blocking/Caulking in Place 🏻 [] Drywall Nailing/ or Screwing		OVe STOP
da	으 흝 Tub-Shower (Wet Wall) [] Gas Test (After Drywall/ Cabinets)		
	្នំ 🛱 Exterior Lath (Seal All Penetrations) (No Scratch & Brown Inspections)		
is also sent to the county assessors office. Failure to take "Final Inspection" within prescribed	Shower Pan/Sloped/Filled/Dam		Ы
	General List of Final Inspection Items	is (Other Items May Apply)	J
	Label All Breakers [] AFCI / GFCI Where Required	here Required [] Final	ECL
Pa	Sub Panel - Isolate Neutrals [] Service - Inspectors Release	ctors Release [] Electrical	13
Misc. Inspections Date Inspector	Recheck Attic Installations [] A/C Condenser Secured to Platform	Secured to Platform [] Final	нэ
S Pad Footings	B'-Vent Terminations [] Disconnect in Sight		WE
Grade Beams	ALL Fixtures Installed & Sealed [] Expose ALL Wall Cleanouts		MU.
Jo Epoxy Bolts	Paint Exterior Exposed Pipes []	nti-Siphon [] Plumbing	1d
Of Notes	[] Smoke/ CO Detectors Installed	tectors Installed []	T
	Planning Final Final Ins	Inspection	
)			

RESIDENTIAL ALTERATION - PERMIT		DESCRIPTION OF WORK (Check and complete all that apply)
CITY OF LAGUNA WOODS - BUILDING SERVICES DIV.	oods for	Building Type: Sq. Ft. Area: Occupancy:
(949) 639-0500 • 24264 El Toro Road, Laguna Woods, CA 92637	VALUATION OF THIS PROJECT (Required)	☐ Room Addition. Sq. Ft.:
Job Site Address: 126 Augment Marie Ca	\$ (((()	☐ Balcony Cover. Sq. Ft.: ☐ Lattice: ☐ Solid:
(want # D	CONTRACTOR'S INFORMATION	☐ Balcony Enclosure. Sq. Ft.:
RESIDENT INFORMATION	0	☐ Patio Cover. Sq. Ft.: ☐ Lattice: ☐ Solid: ☐ Patio Englosum Sq. Et
Resident Name: Royan FLIAN	License Number: Expires: 8-/8	Vents
Resident Telephone Numba	Contractor's Telephone Number:	Doore
Email Address:	Contractor's Mailing Address:	new construction windows and doors
PROPERTY OWNER INFORMATION (Required)	City: State. ZIP:	Water Heater:
(Co-Op owners identify ULWM as the owner and complete resident information.)	CONTRACTOR'S DECLARATION (Select only one)	□ New □
Property Owner Name: CCC	I HEREBY AFFIRM UNDER PENALTY OF PERJURY that I am licensed under provisions of Chapter 9 (commencing with Section 7000 of Division 3 of the Business	/all Unit
Owner Telephone Number:		S
Email Address:	1 HAVE AND WILL MAINTAIN A CERTIFICATE OF WORKERS'	Donal: Ceiling Fans: Fixtures/Can Lights:
Owner Mailing Address:	COMPENSATION INSURANCE, as required by Section 3700 of the Eabor Code, for the performance of the work for which this permit is issued. My	Livew sub Livering Court Cpgrauc.
City: State: ZIP:		Bath: ☐ Remodel ☐ New ☐ Bath Split ☐ Mater Closets (toilets): ☐ Lavatory (sinks):
THITTECT ENGINEER OR	Carrier:	Type: Insert
3		☐ Tub/Shower: Type: ☐ Insert ☐ Tile ☐ Thower: ☐ Type: ☐ Insert ☐ Tile
	3700	nodel
Name: N / P	of the Labor Code, for the performance of the work for which this permit is issued.	☐ Dishwasher ☐ Microwave ☐ Cooking Unit
Telephone Number:	LIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH	of \square Roof Repair. Sq. Ft.:
Email Address:	THE PERMIT IS ISSUED, I shall not employ any person in any manner so as to	Type: ☐ BUR ☐ Composition ☐ Tile ☐ Metal ☐ Single Ply
Mailing Address:	I should become subject to the worker's compensation provisions of Section 3700	ISSUANCE (Issuance does not denote approval of work)
City: State: ZIP:	of the Labor Code, I shall herewith comply with those provisions.	Permit Issued By:
OWNER OR AUTHORIZED AGENT'S DECLARATION	WARNING: FAIGURE TO SECURE WORKERS' COMPENSATION COVERAGE IS	7.CC Date: SI. R
	AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN	lan Check:
I agree to comply with all local ordinances and state laws relating to building construction and I make this statement under penalty of law. Furthermore, I hereby	ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.	Building:
authorize representatives of the City of Laguna Woods to enter upon the above-listed	d	Mechanical:
Permit applications and plan submittals will expire by limitation in 180 days unless	Rux o Killery	
pursued in good faith or a written request for extension is approved. Issued permits will expire by limitation if work is not started within 180 days or if work is abandoned for		1.00
more than 180 days. All extension requests must be submitted in writing to the City of Laguna Woods Building Official as specified by the CBC. Sections 105.3.2 & 108.5.	NOTES: 11 + 16 (-17) ((1)	SMIP: Acrist Accist.
This permit is obtained on behalf of, and with knowledge of, the property owner.		Reproduction:
		C&DMMP Deposit:
Signature: Date: 7/18	[TOTAL FEES: Z/O.CC
Print Name: Revision Date: November 2015	Full Sized Plans Provided	BALANCE:











R310.2.3.2 Drainage. Window wells shall be designed for proper drainage by connecting to the building's foundation drainage system required by Section R405.1 or by an approved alternative method.

Exception: A drainage system for window wells is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in Table R405.1.

R310.3 Emergency escape and rescue doors. Where a door is provided as the required emergency escape and rescue opening, it shall be permitted to be a side-hinged door or a slider. Where the opening is below the adjacent ground elevation, it shall be provided with a bulkhead enclosure.

R310.3.1 Minimum door opening size. The minimum net clear height opening for any door that serves as an emergency and escape rescue opening shall be in accordance with Section R310.2.1.

R310.3.2 Bulkhead enclosures. Bulkhead enclosures shall provide direct access from the basement. The bulkhead enclosure shall provide the minimum net clear opening equal to the door in the fully open position.

R310.3.2.1 Drainage. Bulkhead enclosures shall be designed for proper drainage by connecting to the building's foundation drainage system required by Section R405.1 or by an approved alternative method.

Exception: A drainage system for bulkhead enclosures is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in Table R405.1.

R310.4 Bars, grilles, covers and screens. Bars, grilles, covers, screens or similar devices are permitted to be placed over emergency escape and rescue openings, bulkhead enclosures, or window wells that serve such openings, provided that the minimum net clear opening size complies with Sections R310.1.1 to R310.2.3, and such devices shall be releasable or removable from the inside without the use of a key, tool, special knowledge or force greater than that required for the normal operation of the escape and rescue opening. The release mechanism shall be maintained operable at all times.

Such bars, grills, grates or any similar devices shall be equipped with an approved exterior release device for use by the fire department only when required by the authority having jurisdiction.

Where security bars (burglar bars) are installed on emergency egress and rescue windows or doors, on or after July 1, 2000, such devices shall comply with California Building Standards Code, Part 12, Chapter 12-3 and other applicable provisions of this code.

R310.5 Dwelling additions. Where dwelling additions occur that contain sleeping rooms, an emergency escape and rescue opening shall be provided in each new sleeping room. Where dwelling additions occur that have basements, an emergency

escape and rescue opening shall be provided in the new basement.

Exceptions:

- An emergency escape and rescue opening is not required in a new basement that contains a sleeping room with an emergency escape and rescue opening.
- An emergency escape and rescue opening is not required in a new basement where there is an emergency escape and rescue opening in an existing basement that is accessible from the new basement.

R310.6 Alterations or repairs of existing basements. An emergency escape and rescue opening is not required where existing basements undergo alterations or repairs.

Exception: New sleeping rooms created in an existing basement shall be provided with emergency escape and rescue openings in accordance with Section R310.1.

SECTION R311 MEANS OF EGRESS

R311.1 Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

R311.2 Egress door. Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

R311.3 Floors and landings at exterior doors. There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed \(^{1}/_{4}\) unit vertical in 12 units horizontal (2 percent).

Exception: Exterior balconies less than 60 square feet (5.6 m²) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

R311.3.1 Floor elevations at the required egress doors. Landings or finished floors at the required egress door shall be not more than $1^{1}/_{2}$ inches (38 mm) lower than the top of the threshold.

Exception: The landing or floor on the exterior side shall be not more than 7³/₄ inches (196 mm) below the

top of the threshold provided the door does not swing over the landing or floor.

Where exterior landings or floors serving the required egress door are not at grade, they shall be provided with access to grade by means of a ramp in accordance with Section R311.8 or a stairway in accordance with Section R311.7.

R311.3.2 Floor elevations for other exterior doors. Doors other than the required egress door shall be provided with landings or floors not more than $7^3/_4$ inches (196 mm) below the top of the threshold.

Exception: A top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided that the door does not swing over the stairway.

R311.3.3 Storm and screen doors. Storm and screen doors shall be permitted to swing over exterior stairs and landings.

R311.4 Vertical egress. Egress from habitable levels including habitable attics and basements not provided with an egress door in accordance with Section R311.2 shall be by one or more ramps in accordance with Section R311.8 or one or more stairways in accordance with Section R311.7 or both. For habitable levels or basements located more than one story above or more than one story below an egress door, the maximum travel distance from any occupied point to a stairway or ramp that provides egress from such habitable level or basement, shall not exceed 50 feet (15 240 mm).

R311.5 Construction.

R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.

R311.6 Hallways. The width of a hallway shall be not less than 3 feet (914 mm).

R311.7 Stairways.

R311.7.1 Width. Stairways shall be not less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than $4^{1}l_{2}$ inches (114 mm) on either side of the stairway and the clear width of the stairway at and below the handrail height, including treads and landings, shall be not less than $31^{1}l_{2}$ inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.2 Headroom. The headroom in stairways shall be not less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or

from the floor surface of the landing or platform on that portion of the stairway.

Exceptions:

- 1. Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom not more than 4³/₄ inches (121 mm).
- 2. The headroom for spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.3 Vertical rise. A flight of stairs shall not have a vertical rise larger than 147 inches (3734 mm) between | floor levels or landings.

R311.7.4 Walkline. The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12-inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winder. If winders are adjacent within the flight, the point of the widest clear stair width of the adjacent winders shall be used.

R311.7.5 Stair treads and risers. Stair treads and risers shall meet the requirements of this section. For the purposes of this section, dimensions and dimensioned surfaces shall be exclusive of carpets, rugs or runners.

R311.7.5.1 Risers. The riser height shall be not more than $7^3/_4$ inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than $^3/_8$ inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30 degrees (0.51 rad) from the vertical. Open risers are permitted provided that the openings located more than 30 inches (762 mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch-diameter (102 mm) sphere.

Exceptions:

- 1. The opening between adjacent treads is not limited on spiral stairways.
- 2. The riser height of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.5.2 Treads. The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than $^{3}/_{8}$ inch (9.5 mm).

R311.7.5.2.1 Winder treads. Winder treads shall have a tread depth of not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersec-

- There is an actuation of a smoke detection system that is installed in accordance with Section 907 to provide coverage in areas within the building that are within 75 feet (22 860 mm) of the revolving doors.
- There is an actuation of a manual control switch, in an approved location and clearly identified, that reduces the breakout force to not more than 130 pounds (578 N).

1010.1.4.2 Power-operated doors. Where means of egress doors are operated or assisted by power, the design shall be such that in the event of power failure, the door is capable of being opened manually to permit means of egress travel or closed where necessary to safeguard means of egress. The forces required to open these doors manually shall not exceed those specified in Section 1010.1.3, except that the force to set the door in motion shall not exceed 50 pounds (220 N). The door shall be capable of swinging open from any position to the full width of the opening in which such door is installed when a force is applied to the door on the side from which egress is made. Power-operated swinging doors, power-operated sliding doors and poweroperated folding doors shall comply with BHMA A156.10. Power-assisted swinging doors and lowenergy power-operated swinging doors shall comply with BHMA A156.19.

Exceptions:

- 1. Occupancies in Group I-3.
- Horizontal sliding doors complying with Section 1010.1.4.3.
- 3. For a biparting door in the emergency breakout mode, a door leaf located within a multiple-leaf opening shall be exempt from the minimum 32-inch (813 mm) single-leaf requirement of Section 1010.1.1, provided a minimum 32-inch (813 mm) clear opening is provided when the two biparting leaves meeting in the center are broken out.

1010.1.4.3 Special purpose horizontal sliding, accordion or folding doors. In other than Group H occupancies, special purpose horizontal sliding, accordion or folding door assemblies permitted to be a component of a means of egress in accordance with Exception 6 to Section 1010.1.2 shall comply with all of the following criteria:

- The doors shall be power operated and shall be capable of being operated manually in the event of power failure.
- The doors shall be openable by a simple method from both sides without special knowledge or effort.
- The force required to operate the door shall not exceed 30 pounds (133 N) to set the door in motion and 15 pounds (67 N) to close or open the door to the minimum required width.

- 4. The door shall be openable with a force not to exceed 15 pounds (67 N) when a force of 250 pounds (1100 N) is applied perpendicular to the door adjacent to the operating device.
- 5. The door assembly shall comply with the applicable fire protection rating and, where rated, shall be self-closing or automatic closing by smoke detection in accordance with Section 716.5.9.3, shall be installed in accordance with NFPA 80 and shall comply with Section 716.
- 6. The door assembly shall have an integrated standby power supply.
- The door assembly power supply shall be electrically supervised.
- The door shall open to the minimum required width within 10 seconds after activation of the operating device.

1010.1.4.4 Security grilles. In Groups B, F, M and S, horizontal sliding or vertical security grilles are permitted at the main exit and shall be openable from the inside without the use of a key or special knowledge or effort during periods that the space is occupied. The grilles shall remain secured in the full-open position during the period of occupancy by the general public. Where two or more means of egress are required, not more than one-half of the exits or exit access doorways shall be equipped with horizontal sliding or vertical security grilles.

1010.1.4.4.1 Special provisions—school classrooms. School classrooms constructed after January 1, 1990, not equipped with automatic sprinkler systems, which have metal grilles or bars on all their windows and do not have at least two exit doors within 3 feet (914 mm) of each end of the classroom opening to the exterior of the building or to a common hallway used for evacuation purposes, shall have an inside release for the grilles or bars on at least one window farthest from the exit doors. The window or windows with the inside release shall be clearly marked as emergency exits.

1010.1.5 Floor elevation. There shall be a floor or landing on each side of a door. Such floor or landing shall be at the same elevation on each side of the door. Landings shall be level except for exterior landings, which are permitted to have a slope not to exceed 0.25 unit vertical in 12 units horizontal (2-percent slope).

Exceptions:

- Doors serving individual dwelling units in Groups R-2 and R-3 where the following apply:
 - 1.1. A door is permitted to open at the top step of an interior flight of stairs, provided the door does not swing over the top step.
 - 1.2. Screen doors and storm doors are permitted to swing over stairs or landings.
- Exterior doors as provided for in Section 1003.5, Exception 1, and Section 1022.2, which are not on an accessible route.

- 3. In Group R-3 occupancies not required to be adaptable or accessible, the landing at an exterior doorway shall not be more than $7^3/_4$ inches (197 mm) below the top of the threshold, provided the door, other than an exterior storm or screen door, does not swing over the landing.
- Variations in elevation due to differences in finish materials, but not more than ¹/₂ inch (12.7 mm).
- 5. Exterior decks, patios or balconies that are part of adaptable or accessible dwelling units, have impervious surfaces and that are not more than 4 inches (102 mm) below the finished floor level of the adjacent interior space of the dwelling unit. See also Chapter 11A, Section 1132A.4.
- 6. Doors serving equipment spaces not required to be accessible in accordance with Section 1103.2.9 and serving an occupant load of five or less shall be permitted to have a landing on one side to be not more than 7 inches (178 mm) above or below the landing on the egress side of the door.

1010.1.6 Landings at doors. Landings shall have a width not less than the width of the stairway or the door, whichever is greater. Doors in the fully open position shall not reduce a required dimension by more than 7 inches (178 mm). Where a landing serves an occupant load of 50 or more, doors in any position shall not reduce the landing to less than one-half its required width. Landings shall have a length measured in the direction of travel of not less than 44 inches (1118 mm).

Exception: Landing length in the direction of travel in Groups R-3 and U and within individual units of Group R-2 need not exceed 36 inches (914 mm).

1010.1.7 Thresholds. Thresholds at doorways shall not exceed $^{3}/_{4}$ inch (19.1 mm) in height above the finished floor or landing for sliding doors serving dwelling units or $^{1}/_{2}$ inch (12.7 mm) above the finished floor or landing for other doors. Raised thresholds and floor level changes greater than $^{1}/_{4}$ inch (6.4 mm) at doorways shall be beveled with a slope not greater than one unit vertical in two units horizontal (50-percent slope).

Exceptions:

>

- In occupancy Group R-2 or R-3, threshold heights for sliding and side-hinged exterior doors shall be permitted to be up to 7³/₄ inches (197 mm) in height if all of the following apply:
 - 1.1. The door is not part of the required means of egress.
 - 1.2. The door is not part of an accessible route as required by *Chapter 11A or 11B*.
 - 1.3. The door is not part of an adaptable or accessible dwelling unit.
- In adaptable or accessible dwelling units, where Exception 5 to Section 1010.1.5 permits a 4-inch (102 mm) elevation change at the door, the threshold height on the exterior side of the door

shall not exceed $4^3/_4$ inches (120 mm) in height above the exterior deck, patio or balcony for sliding doors or $4^1/_2$ inches (114 mm) above the exterior deck, patio or balcony for other doors.

1010.1.8 Door arrangement. Space between two doors in a series shall be 48 inches (1219 mm) minimum plus the width of a door swinging into the space. Doors in a series shall swing either in the same direction or away from the space between the doors.

Exceptions:

- The minimum distance between horizontal sliding power-operated doors in a series shall be 48 inches (1219 mm).
- Storm and screen doors serving individual dwelling units in Groups R-2 and R-3 need not be spaced 48 inches (1219 mm) from the other door.
- Doors within individual dwelling units in Groups R-2 and R-3 other than adaptable or accessible dwelling units.

1010.1.9 Door operations. Except as specifically permitted by this section egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.

1010.1.9.1 Hardware. Door handles, pulls, latches, locks and other operating devices on doors required to be accessible by Chapter *11A* or *11B* shall not require tight grasping, tight pinching or twisting of the wrist to operate.

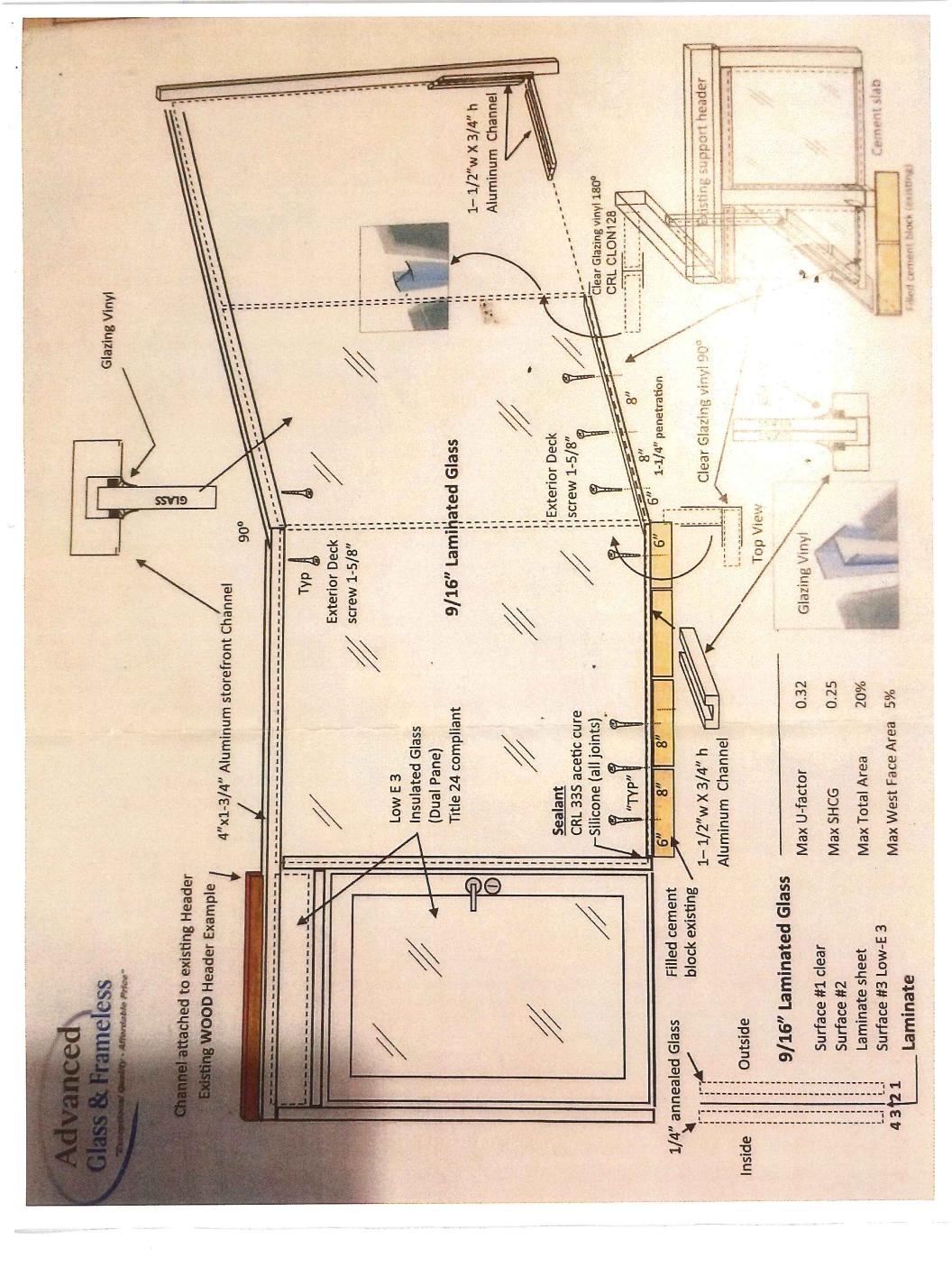
These design requirements for door handles, pulls, latches, locks and other operating devices, intended for use on required means of egress doors in other than Group R and M occupancies with an occupant load of 10 or less, shall comply with SFM Standard 12-10-2, Section 12-10-202 contained in the CCR, Title 24, Part 12, California Referenced Standards Code.

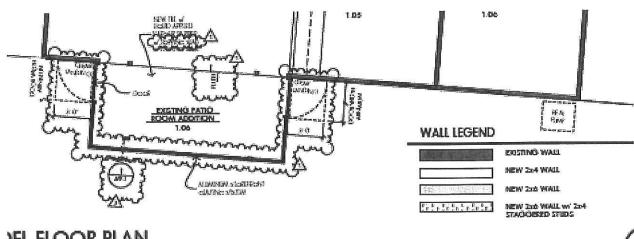
1010.1.9.2 Hardware height. Door handles, pulls, latches, locks and other operating devices shall be installed 34 inches (864 mm) minimum and 48 inches (1219 mm) maximum above the finished floor. Locks used only for security purposes and not used for normal operation are permitted at any height.

Exception: Access doors or gates in barrier walls and fences protecting pools, spas and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the finished floor or ground, provided the self-latching devices are not also self-locking devices operated by means of a key, electronic opener or integral combination lock.

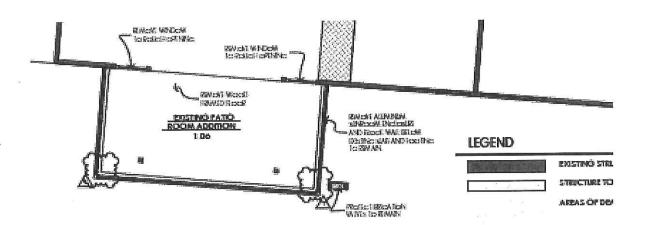
1010.1.9.3 Locks and latches. Locks and latches shall be permitted to prevent operation of doors where any of the following exist:

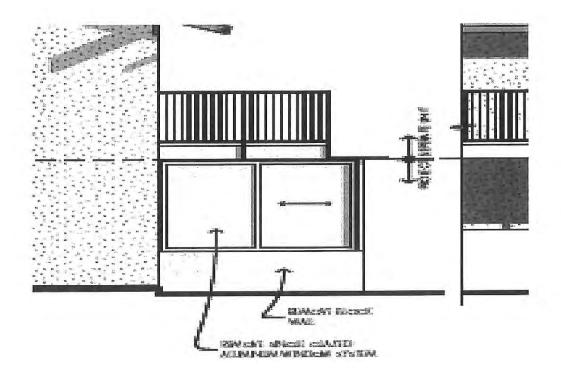
- 1. Places of detention or restraint.
- In buildings in occupancy Group A having an occupant load of 300 or less, Groups B, F, M and S, and in places of religious worship, the main door or doors are permitted to be equipped with

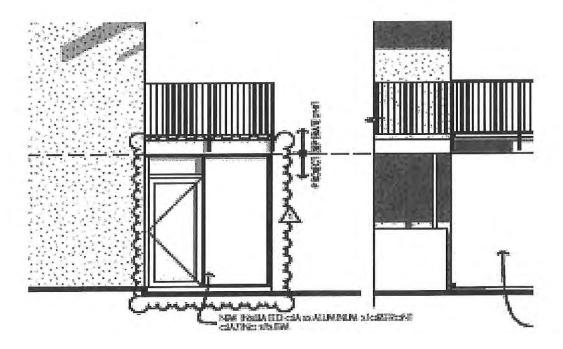




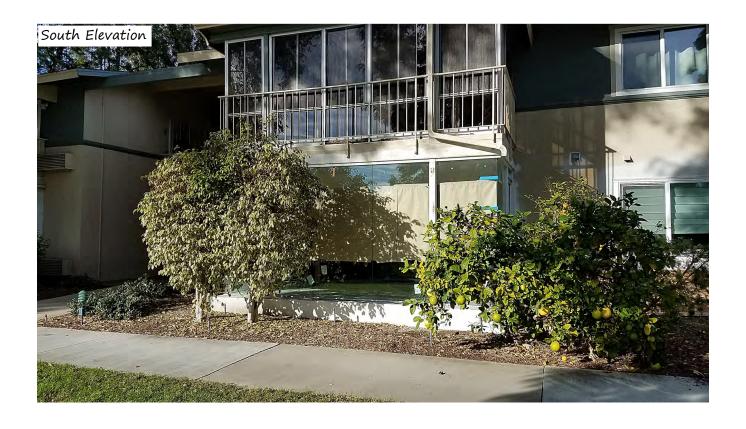
DEL FLOOR PLAN







Attachment: 3

















Attachment: 4







STAFF REPORT

DATE: January 17, 2019

FOR: Architectural Controls and Standards Committee

SUBJECT: Standard Plan Review Policy

RECOMMENDATION

Approve a resolution to introduce the Alteration Standard Plan Review Policy.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) reviews many variance requests to accommodate minor differences to previously adopted Standard Plans. The ACSC requested Staff to review the history and typicality of these types of requests and develop an alternative to the lengthy Variance Requests process.

DISCUSSION

Currently, there are 248 Standard Plans available for Members to use for alterations. Most of these plans were approved in the early 1990's. Although the plans were drawn and stamped by a licensed architect, they do not necessarily meet current codes. The plans are used as "guides" for the improvements that are currently acceptable in the Mutual. City officials require new architectural and structural plans for most of the alterations shown on the plans.

Staff reviews numerous requests each year for alterations that can be accomplished by over-the-counter Mutual Consents using previously approved Standard Plans. These alterations include atrium enclosures, small room extensions and bathroom splits. When one of these alterations involves work that differs from the existing Alteration Standard Plans, the alteration would be automatically reviewed as a variance. In an effort to reduce the number of variance requests and reduce the time for alteration approval, the ACSC directed Staff to review previous Variance Requests that involve these types of alterations.

After completing the review, Staff has determined that developing a policy that would enable Staff to approve minor variations from the Standard Plans would be beneficial. Therefore, Staff has developed the Alteration Standard Plan Review Policy (Attachment 1) that would give the discretion to approve minor deviations from the Standard Plans, at the Staff level.

The proposed policy would allow Staff to approve minor, nonstructural changes, such as those necessary for closets, windows, door types, and locations, when reviewing Mutual Consent applications. The policy would restrict Staff from approving changes that affect the structural integrity of the building, affect room usage, create new rooms, or relocate load bearing walls. Those types of alterations would still be required to go through the variance process.

FINANCIAL ANALYSIS

None.

United Laguna Woods Mutual Alteration Standard Plan Review Policy January 17, 2018 Page 2

Prepared By: Kurt Wiemann, Permits, Alterations and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1: Resolution 01-19-XXX Alteration Standard Plan Review Policy



Attachment 1

Standard Plan Review Policy

Resolution 01-19-XX

WHEREAS, the Village has 248 previously approved Standard Plans available for Members to use for alterations with an over-the-counter Mutual Consent without having to use the variance process or need further Board approval;

WHEREAS, The Architectural Control and Standards Committee (Committee) reviews numerous variance requests from members proposing to make alterations using a previously approved Standard Plan with minor variations;

WHEREAS, current policy requires all variations from a Standard Plan to be reviewed by the Committee;

WHEREAS, the Committee desires to simplify the approval process for alterations and minimize the time for review of these alterations; and

WHEREAS, the Committee directed Staff to create a policy pertaining to minor revisions to Standard plans for Members who are proposing to perform alterations to their units using a previously approved Standard Plan.

NOW THEREFORE BE IT RESOLVED, February 12, 2019, the Board of Directors adopts Resolution 01-19-XXX (Standard Plan Review Policy); and

RESOLVED FURTHER, architectural drawings shall be provided for all revisions to Standard Plans to the Alterations Department office for review and to determine if they meet the intent of this policy, including but not limited to, closets, windows, door style or placement;

RESOLVED FURTHER, Staff shall thoroughly review the submitted drawings. If Staff determines that the proposed alteration does not affect load bearing walls or alter the purpose of rooms as depicted on the Standard Plan, meets the intent of this policy, and conforms to all pertinent alteration policies, Staff may issue a Mutual Consent; and

RESOLVED FURTHER, if Staff determines that the proposed alteration does not meet the intent of this policy and the Member desires to pursue the proposed alteration, Staff shall process the request as a variance for review by the Committee; and

RESOLVED FURTHER, all proposals for revisions that are not considered minor or alter the exterior aesthetics of the Unit shall require Board approval via the variance process; and

RESOLVED FURTHER, that the officers and agents of this corporation are hereby authorized on behalf of the corporation to carry out the purpose of this resolution.